

ORDINANCE _____

AMENDING THE STATE COLLEGE BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER XIX, PART J, OF THE CODIFICATION OF ORDINANCES) BY ESTABLISHING A MANUAL OF WRITTEN AND GRAPHIC DESIGN GUIDELINES FOR THE WEST END TRADITIONAL NEIGHBORHOOD DEVELOPMENT ZONING DISTRICT.

It is hereby ENACTED AND ORDAINED by the Council of the Borough of State College, and it is Enacted and Ordained by authority of same, that Chapter XIX of the Codification of Ordinances is hereby amended as follows:

Section 1. Amend the Codification of Ordinances, Chapter XIX, Chapter J, Subdivision and Land Development, by including the West End Traditional Neighborhood Development (TND) District Manual of Written and Graphic Design Guidelines to read as follows:

**West End Traditional Neighborhood Development (TND) District
Manual of Written and Graphic Design Guidelines**

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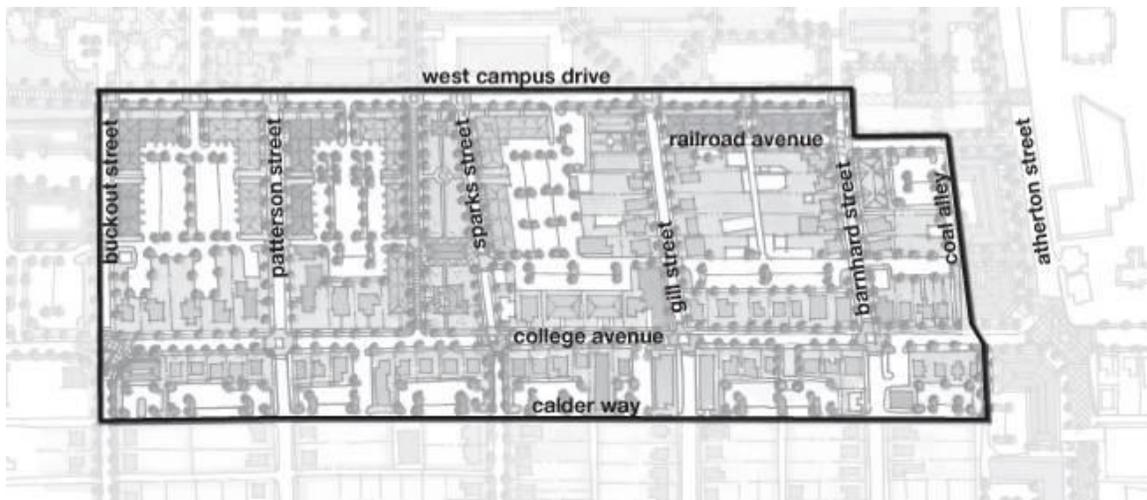
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Section 2620. Introduction and Purpose. To provide guidelines for development activity in the designated area as shown in Exhibit 1: The West End TND District Boundary Map and known as the West End Traditional Neighborhood Development (TND) District from Calder Alley to the south, West Campus Drive to the north, Ferguson Township to the west and Coal Alley to the east. Also to strengthen the physical and economic character of the Neighborhood by promoting and encouraging consistency in the quality of design and compatibility with the existing character of the area and the neighborhood residents' vision as emerged through the West End Neighborhood Revitalization Planning process.



West End TND District Guidelines Boundary Map

Section 2621. Statutory Authorization. Pursuant to Section 708-A of the Pennsylvania Municipalities Planning Code, this Manual of Written and Graphic Design Guidelines is established to assist applicants in the preparation of land development plans for projects proposed in the West End TND District.

Section 2622. Building Considerations.

a. Introduction. As highlighted in the West End Revitalization Plan, the West End TND District will incorporate a range of newly proposed land uses that have been endorsed through a public planning process. The next step in the process is to guide the development and appearance of these land uses in a way that adds to the character and value of the neighborhood through this Manual of Written and Graphic Design Guidelines. This section describes the West End TND Design Guidelines that will aid in enhancing the spatial legibility and the overall built aesthetics of the West End Neighborhood. The guidelines provide criteria and requirements to

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evaluate and specify the appropriateness of specific design decisions that affect the urban neighborhood experience.

b. District Theme. The various building configurations shall be integrated into an overall theme that is complementary and yet creates a dynamic set of architectural interrelationships. Each building design shall enhance the West End TND District's spatial legibility and aesthetic experience by conforming to the required design guidelines referenced herein.

c. Architectural Framework. A building's form, silhouette, orientation, color, placement and material can either enhance or detract from the overall aesthetic appearance and experience within the West End TND District. The objective of the West End TND Design Guidelines is to ensure continuity and compatibility among all architectural features and their associated spaces to enhance the quality of life as it relates to how people experience spaces and the environment around them. This is accomplished by using the building's enclosure to define and enhance spatial legibility while also providing visual cues to add diversity and highlight key elements.

d. Prescriptive Guidelines. These guidelines describe the architectural standards that are applicable when constructing new buildings and other structures as well as general façade enhancements, preservation principles, and architectural and aesthetic considerations for porch enclosures. Consequently, many of the guidelines are prescriptive, rather than advisory. Where prescriptive, the guidelines are so noted.

Section 2623. Overview of Architectural Principles.

a. Role of the West End TND District with the Rest of the Borough. The West End TND District serves as the west gateway to both the Borough Center and the PSU West Campus and as such it holds a key role in establishing a first or last impression of State College Borough as visitors enter and leave the PSU campus and Downtown to the west. As the "arrival point" for student residences and commercial business, it is important this area convey a sense of transition from the higher density, quality PSU West Campus environment to the north, to the lower density, historic Holmes-Foster neighborhood to the south. The same can be said for the transition from the higher density Borough Center to the east, to the lower-density residential/commercial areas of Ferguson Township to the west.

b. Maintaining the West End's Architectural Variety. New uses in the West End TND District will ultimately result in multiple building configurations which will be carefully integrated into an overall theme that is complementary and yet creates a dynamic set of architectural interrelationships. Each building design will be prepared with the goal of enhancing the neighborhood's uniqueness, spatial legibility and aesthetic experience. This section describes the architectural guidelines that aid in preserving this uniqueness, while enhancing the legibility and the overall aesthetics of the West End TND District.

c. Existing Architectural Vernacular. The West End TND District’s building placement, streetscape treatments, yards, and alleys shall build upon the “village character” found in the District. Architectural emphasis along College Avenue, West Campus Drive and the North-South residential streets shall be either a traditional or modern interpretation of the Georgian/Federal, Queen Anne Victorian, French Second Empire, or bungalow styles with brick & stone masonry, wood or cementitious clapboards, stucco, slate with warm, rich colors with varying roofs, doorways and passages, and trim treatments highlighted in the guidelines. Use of landscape walls, hedges, and fencing at the front sidewalk edge are also encouraged in the guidelines to blend the built landscape with the natural landscape and further define the street edge, courtyards and passageways.

Section 2624. Architectural Design Principles and Standards

a. Architectural Principles: The general architectural principles to follow for new construction, redevelopment, and building renovations in the West End TND District are listed below. These principles form the basis for the detailed architectural standards described in Section 2624.b. As a general rule, all new construction, redevelopment, and renovations commenced in the West End should strive to do the following:

- (1) Preserve and restore the architectural integrity of contributing buildings within that portion of the Holmes-Foster Historic District where it underlies the West End.
- (2) Compliment the styles of contributing buildings within that portion of the Holmes-Foster Historic District where it underlies the West End.
- (3) Reinforce the existing streetscape environment.
- (4) Create facades that provide both variety and interest while relating to adjoining parcels and development.
- (5) Use building materials that are common to the district
- (6) Use color schemes that are common to the district.
- (7) Provide outdoor spaces for residents through porches, balconies, and roof terraces.

(8) Use roof and chimney styles and materials that are compatible with existing structures in the West End.

(9) Place roof top utilities, skylights, and vents on the rear side of buildings so they cannot be seen from the street and design gutters and downspouts in a fashion so they are not conspicuous.

(10) Provide ADA and fire egress structures in an inconspicuous way.

(11) Use long lasting quality materials.

(12) When using composite or synthetic materials to simulate the appearance of natural materials, the synthetic material is to be applied as if it has all the properties and characteristics of the natural material. For example, natural stone is heavy so it would not be used as facing material in a cantilevered section of a building. Hence, simulated stone should not be used as a facing material on a cantilevered section of a building.

(13) Implement green building principles into building and site design including Leadership in Energy and Environmental Design (LEED) certification by the US Green Building Council.

b. Detailed Architectural Standards: All new construction, redevelopment, renovations, or other site improvements done in the West End TND District shall abide by these standards.

(1) **Accessory Buildings:** Garages, carports, storage buildings, gazebos, covered decks, and all other accessory buildings, whether attached or detached from the main building, shall complement the color scheme, materials, architectural details and design of the main building on a lot. Pre-fabricated metal outbuildings are prohibited. Roofs on garage buildings, carports, and storage sheds shall match the style, pitch, and covering used on the main building. Garages and carports shall not be connected to a main building via breezeway.



Sample styles of ancillary structures and freestanding garages permitted in the West End District



Traditional style ancillary structure found in the West End District



Example of a free-standing masonry garage in the West End District



Good example of well integrated side entry garage structure accessed from an alley.

Two examples of multiple-car garages using roof styles, roofing materials, siding, and other detailing that match the residences.

(2) Awnings and Canopies:

(a) General Rules:

- Awnings shall not extend below the top of the window or doorway covered more than a distance equal to $\frac{1}{4}$ of the opening's height.
- An awning's shape shall relate to the opening it covers.
- Where a building's façade is divided into distinct structural bays (sections defined by vertical architectural elements like masonry piers), individual awnings shall be placed within the bays creating breaks, rather than overlapping them forming a continuous single awning.

(b) Materials:

- Awnings shall be made of aluminum or other light weight metal, fiberglass, or vinyl or cloth fabric.
- When fabric is used, it shall be commercial grade.
- Plastic material is prohibited.
- Frames and supports shall be painted or treated to be non-corroding.

(c) Color:

- Excluding sign messages affixed to awnings or canopies, all awnings and canopies shall display a single color or may use a two-stripe color scheme.
- The same color scheme and pattern shall be used throughout on a residential building.
- On non-residential buildings and mixed-use buildings, individual businesses may display their own color scheme and pattern, but the color scheme and pattern used shall be consistent for all awnings and canopies displayed by an individual business.

- Signs may be affixed to awnings and canopies pursuant to regulations contained in the Sign Ordinance.
- Brightness of backlit awnings and canopies is regulated by Section 2705.g. in the Zoning Ordinance.
- Glossy or shiny awnings and canopies are prohibited.

Sample **awnings and canopies with inappropriate** applications are shown below for reference.



Large awning structures that are disproportionate with the entry they are serving are not permitted.



Commercial scale awnings shall not be permitted on residential buildings in the West End.



Awnings shall not be oversized to the point the primary windows are hidden from view do to low clearance below roof soffit.

Sample **awnings and canopies with appropriate** applications are shown below for reference.



Good example of individual window awnings sized and positioned correctly to provide additional building character.



Good example of porch awning designed to complement the existing architectural character.

(3) **Balconies:** Balconies are permitted within the West End TND District, but all visible framing members, railings, posts, etc. shall be painted, stained, or otherwise treated to match the primary, secondary, or trim scheme colors of the building. All architectural details on a balcony shall relate to the main structure. Visible pressure treated wood components, if used, shall be painted, stained, or otherwise treated, as mentioned above, during installation and shall not be left to weather.

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Sample **balconies not appropriate** for the West End District are shown below for reference.



Exposed pressure treated wood balconies are not permitted in the West End. They must be painted, stained or clad with an approved decorative fascia material.

Sample **balconies appropriate** for the West End District are shown below for reference.



Balconies can be used to break the massing of a wall.

(4) **Chimneys**: Chimneys shall be clad in the same facing materials used in the building's wall or shall be clad in brick, natural stone, or architectural pre-cast concrete. Vents and stacks are only allowed to penetrate rear roof slopes on pitched roofs.

(5) **Color**: While there is no unified color scheme in the West End, many buildings display brick red, green, brown, cream, or gray colors. Individual buildings typically display just 2 or 3 colors, keeping the building color scheme simple. To maintain consistency with the current color scheme, all buildings shall display one dominate color that covers at least 60% of a building's wall area, and shall be allowed to use up to two additional colors as accents.

(6) **Cornices and Trim**: Cornice and trim elements shall not be eliminated when they are an original element of an existing structure. They may be replaced, as needed, provided the replacement element matches the original in appearance and quality.

(7) **Doors**: On front facades, opaque doors with a completely flat outside surface void of design or relief are prohibited. All opaque doors shall have at least one or

more of the following details: window or windows, panels, side lighters, overhead lighters (transom), decorative or raised elements that provide relief and detail to the door's surface. All elements must be coordinated with and complement the architectural design of the building. On front facades, doorways that are not protected by a roof, hood, awning, or other covering shall be recessed. Elimination of an existing doorway shall be done in a matter that is compatible with the wall it penetrated resulting in the eliminated doorway being unnoticeable.

Sample **door styles and materials appropriate** for the West End are shown below for reference



Traditional single door with window opening is permitted in the West End



Traditional wood door with side lights is permitted in the West End



Traditional wood door with divided lights is permitted in the West End



Sample **inappropriate** door treatments are shown below for reference.



Flat doors are not permitted in the West End District



Door openings shall not be filled in & blocked or made of full glass as shown above



Flush front facade doors are not allowed. They must be recessed.

(8) **Dormers**: A dormer's roof covering shall match the covering material used on the roof upon which it is placed and the dormer's roof pitch shall be proportionate to the roof upon which it is placed.



Examples showing matching roof coverings and proportionate roof pitches.

(9) **Entryways:** The following standards apply to all buildings, except those used as 1-family dwellings.

(a) A building's main entry shall be on the street side and shall be emphasized using one or more of the following techniques:

- Frame the entryway using flanking columns or other flanking decorative structural elements
- Recess the entryway behind the front building wall (up to a maximum of 5 feet)
- Place the entryway within an archway or decorative opening
- Provide cover over the entryway using a portico, porch, projecting overhang, awning, or canopy

(b) In residential buildings where each unit has its own exterior entryway, each entryway shall be recessed or covered. Covering may be achieved by using any of the following structures: door hood, small porch, projecting overhang, awning, or canopy.

Samples of **contemporary storefront entry and doorway treatments appropriate** for the West End District are illustrated below for reference.





Traditional storefront entries using recessed doorways.

Contemporary entryway designs with projecting overhangs

Samples of **residential entryways using porch cover, hoods, or recesses** are shown below.



Door hoods over the doorway add detail and interest to the building's entrance.

Stoops and steps should match the building's main material.

Single-story porches extending the full front façade is common in the West End.

(10) **Exterior Wall Facing Materials:** Most buildings in the West End are built from one or two basic materials. Masonry is often the dominate material especially at grade and ground level. Simple configurations and solid craftsmanship are the rule, rather than the exception. Over the years, complex and ostentatious building forms have been avoided. To maintain consistency with this concept of simplicity, the following development standards shall apply when constructing new building walls:

(a) Number of Materials Allowed:

- No building shall have or use in combination more than three wall facing materials, one of which shall be the predominant material. When used, the

other one or two facing materials shall be secondary and shall cover a smaller wall area than the predominant material.

- The predominant facing material shall comprise at a minimum 60 percent of a building's total wall surface area. Areas devoted to windows, doors, signs, canopies, awnings, shutters, foundations, and trim or border elements are excluded from the wall surface area calculation.
- Materials used in trim and borders shall not count as wall facing materials, provided their cumulative area does not exceed 15% of a building's total wall area. Accordingly, trim and borders may be made of material different from the facing wall and that material shall not count toward the three wall material limitation, provided it is 15% or less of the building's total wall area.

(b) Recommended Facing Materials:

- The following materials are recommended for use as wall facing materials in order to complement the existing West End building stock and facades:
- Masonry brick, natural stone, architectural pre-cast stone, and architectural pre-cast concrete that is textured or patterned to look like brick or stone.
- Wood clapboard siding
- Fiber cement or similar type clapboard siding
- Clapboard siding made of 100% re-cycled products
- tile

(c) **Prohibited Facing Materials**: The following materials are prohibited as wall facing materials, because they do not complement the West End District's existing building stock and facades:

- Aluminum siding (except for 1 & 2-family dwellings and their accessory garages)
- Vinyl siding (except for 1 & 2-family dwellings and their accessory garages)
- Glass curtain walls
- Reflective or mirrored glazing
- Unfinished Concrete Masonry Units (CMU)
- Painted CMU
- Decorative CMU (e.g., split face, glazed, etc.), except for foundation walls and as a secondary facing material on the ground level floor only.
- stucco, except for foundation walls and as a secondary facing material only
- EIFS, except as a secondary facing material only

Sample **building materials recommended** in the West End District are illustrated below.



Examples showing brick as the predominant facing material. The predominant material must comprise at least 60% of a building's total wall surface area.

These buildings each use two materials – a primary and a secondary.

Sample **building materials not permitted** in the West End District shown below for reference.



Split face concrete masonry block is prohibited as the predominant material.



Stucco and EIFS materials are prohibited as predominant facing materials.



EIFS material cannot be the predominant facing material. It may be a secondary material not exceeding 40% of the building's total wall area.



Painted concrete block is prohibited as a facing material. Vinyl siding is prohibited, except on 1 & 2-family dwellings.



(11) **Facade and Building Wall Treatments**: Long continuous walls in the same plane and blank walls void of architectural form and detail are undesirable on building facades because they do not promote the pedestrian aesthetic experience or match the characteristics of the existing streetscape in the West End. Accordingly, the following visual interest standards shall apply to all walls facing streets, public courtyards, or public greens:

(a) Architectural detailing, windows, doors, or any combination therein shall be used to avoid excessive blank walls and shall be arranged on each story of a building's wall as follows:

- **Horizontal run**: Measuring across the wall horizontally, space separation between elements shall not exceed 20% of the wall's overall length. Example: On a 30-foot facing wall, separation between elements shall not exceed 6 feet; 8 feet on a 40-foot facing wall.
- **Vertical run**: The minimum vertical dimension of the element shall not be less than 30% of the wall's vertical height per story. Example: For an 8-foot high story, the minimum vertical dimension of the element is 2.4 feet; 3 feet for a 10-foot high story.

(b) Architectural detailing used to avoid excessive blank walls may include any of the following elements, techniques, or combinations therein:

- Dividing the facade into a series of structural bays (i.e., masonry piers that frame window and door elements) that establish a pattern or rhythm.
- Breaking the plane of the facade by using indents and projections that form offsets in the wall that produce visual relief and shadow lines or by using changes in texture or materials that provide visual relief.
- Using balconies, canopies, awnings, projecting overhangs, and other structural elements that extend forward of the plane of the wall.

(c) The ground floor façade facing a street, public courtyard, or public green, of all buildings, except 1 & 2-family dwellings and townhouses under 3-stories, shall have a separate architectural treatment distinguishing it from the next floor immediately above by using features that create visual distinction, interest, and shadow lines. The following architectural features and treatments may be used individually or collectively to achieve the distinction:

- Changing fenestration between floors
- Using recessed or projected entry areas and doorways
- Using projecting awnings, canopies, or overhangs mounted in the transition area between floors.
- Changes in building material or pattern between floors
- Architectural borders, banding, or both in the transition area between floors.

Sample **façade and building wall treatments appropriate** for the West End District.



Example showing different building materials and window types used to gain visual interest.



Separate treatment of the ground floor is achieved by changing building materials and pattern on the upper floors.



Example of dividing façade into a series of bays and changing fenestration above the ground floor

(12) **Fences and Walls:**

(a) Fence Type:

- Only rail, picket, privacy, or any combination therein is permitted. Chain link is expressly prohibited.
- When the main building is a contributing building to the historic district, fence type and color scheme shall match the historic period's vernacular.

(b) Walls (Retaining, Garden, and Privacy):

- Stone walls are indigenous to the district and are encouraged.
- The following wall materials are expressly prohibited for use on exposed walls visible beyond property lines: modular or poured concrete, timber ties or logs, cement block (except split face or decorative CMU block may be used), and wood.

(c) Height:

- In all yard areas of a lot, except the front yard, the maximum height permitted for a wall or fence is 6 ½ feet above grade.
- It is permissible to mount a permitted fence type on top of a wall provided the overall height from the base of the wall to the top of the fence does not exceed 6 ½ feet.
- In front yards, the maximum height of a fence, wall, or combination shall not exceed 3 feet.

(d) **Security Fences:** Security fences may be erected around the perimeter of lot areas used to store outdoor merchandise and accouterments when such

storage is permitted at a property or to protect equipment and utilities. All security fences must comply with the fence type and height standards contained herein. When security considerations require a fence to be higher than 6 ½ feet, the fence shall be located behind the building setback lines applicable on the lot.

Sample fence and wall materials and treatments.



Split face and decorative CMU block may be used for walls. The pressure treated railing must be stained or painted.



Timber or wood walls are prohibited.



A permitted fence type, in this case picket, may be placed on top of a wall provided the overall height limit is not exceeded.



Because stone walls are indigenous to the district, landowners are encouraged to make new walls out of stone. stone. encouraged as the predominant wall material.

***Note: Sample fence & garden wall treatments appropriate to the West End continued.**



Rail and picket fences are permitted in the West End District.

A maximum 6 ½-foot high privacy fence is permitted in rear and side yards, but in front yards maximum height allowed is 3 feet.

(13) Foundation Walls: All exposed masonry foundation walls shall be parged with plaster or stucco material, or clad in brick, stone, tile, or other similar materials, or shall be made of split face or decorative CMU block.

Sample foundation materials and treatments are shown below for reference.



Exposed concrete foundation walls must be parged with plaster or stucco material.



An exposed stone foundation wall, which is permitted, is shown above.



Foundation with English Basement and half-circle window details add interest to the overall building.



An appropriate techniques uses foundation plants and a porch skirt of lattice to completely screen the foundation.



Wood screen matched with building detail helps screen and decorate the foundation of the building.



Sample foundation/porch walls properly clad in natural stone materials. This look can also be achieved with man-made stone.

(14) **Gutters and Downspouts:** Gutters shall be a metal ogee, half-round, and integral to the eave or cornice. Round or square downspouts shall be used and held to the corners for a side gable, or placed around the corner for hipped roofs. Intermediate downspouts shall be placed near the inside corner to minimize the impact on the design. If there is no inside corner, a downspout shall be placed at a logical division between building segments.

(15) **Porches:** Front porches are a common element on many of the buildings in the West End that were built originally as single-family houses. These porches help define the existing streetscape and also provide architectural interest to the individual buildings on which they are attached. Over the years some porches have been enclosed in ways that are inappropriate for maintaining the character of the streetscape and the historical character of the building. Others have not been maintained in ways that match the historical characteristics of the original porch structure. Accordingly, in addition to the other design standards contained in this section, the following additional design standards are applicable to all front building porches whenever an application proposes to build a new porch or enclose, repair, or alter an existing porch:

(a) Size:

- Whenever a new front porch is proposed, its minimum linear width as it faces the street shall be at least 50% of the building's linear width facing the street.
- The minimum depth of a front porch shall be 5 feet.

(b) Design Elements:

- Support posts and railings shall match the architectural style and building materials appearing on the building.
- Railings shall contain baluster. Solid railings are prohibited.
- Railings on steps shall be the same design used on the porch.
- All visible framing members, railings, posts, etc. shall be painted, stained, or otherwise treated to match the primary, secondary, or trim scheme colors of the building. Visible pressure treated wood components, if used, shall be painted, stained, or otherwise treated, as mentioned above, during installation and shall not be left to weather.
- Flat roofs are prohibited.

(c) Maintenance, Repair, and Alteration:

- Repair shall be done in a manner that maintains the porch's original design.

- Repair or replacement of trim, roof elements, decking, balusters, railings, and support posts shall be with like kind design and materials that look like those originally used on the porch.
- Alterations and additions shall use materials, decorative design elements, and construction methods that match those of the original porch to be altered or enlarged.
- When a porch is a required element on a building pursuant to any of the detailed architectural standards in Section 2624.b or the porch is an element on the front façade of a contributing building, and such porch is damaged by accidental cause or casualty or otherwise deteriorates beyond repair, it may be removed, but shall thereafter be replaced within one year of removal with a new porch designed and built in a way that conveys the same characteristics as the original porch.

(d) Enclosure:

- Enclosure of a front porch for residential use is only allowed at 1-family dwellings.
- In all buildings, other than 1-family dwellings, front porch enclosure is only permitted to provide space for commercial or office uses. Residential use including all residential accessory uses is expressly prohibited.
- When a porch is enclosed, its roof structure's design and integrity must be retained including all existing support posts and or columns.
- Enclosure shall be accomplished by infilling between posts or columns in such a way that the support structures remain visible and intact.
- On the front elevation, at least 60% of the total area between roof support structures extending from the roof to the porch floor shall be in-filled using windows or other clear glazing. All windows shall be in alignment and of the same style.
- Side elevations shall be enclosed in the same fashion as the front elevation.
- Solid in-filled areas shall match the style, materials, and colors on the main part of the structure. However, use of aluminum or other metal siding, vinyl siding, concrete masonry units, glass block, and EIFS materials is expressly prohibited.
- Solid in-filled areas shall be painted, stained, or otherwise treated to match the primary, secondary, or trim scheme colors of the building.
- Overall limits on the number of facing wall materials used shall apply as specified in Section 2624.b (9).
- Applications for enclosure shall follow the review procedure set forth under Section 502.f (9) of the zoning ordinance.

- In addition to the above mentioned standards, all porch enclosures on contributing buildings to the underlying historic district shall comply with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Samples of porch enclosures – appropriate and inappropriate materials and techniques



In these two examples, only part of the porch is enclosed which throws the structure out of balance. Materials and colors used in the enclosure don't



match those on the house and windows are way too small to meet the 60% glazing requirement.



Above, an example of the appropriate way to do a partial enclosure using divided vertical windows.



Pictured left is an enclosure that matches the primary material, brick, used on the house. The middle picture is an excellent example of how to screen in a front porch on a contributing building in the historic district.



Appropriate front porch enclosure with compatible decorative details.



This enclosure maintains the integrity of the roof structure and support columns, as required.

(16) **Rear Elevations:** When parking is located behind any new building or building addition, the rear building elevation shall include an entrance way into the building and a connecting walk between the rear parking area and rear entrance. All rear entrances shall be either recessed into the wall or covered by an awning, canopy, or projecting roof of sufficient size to protect the entry from weather and each entry shall be designed in a way that distinguishes it from the rest of the wall.

(17) **Roof Treatments:** Building roofs are an important element that helps shape a building's individual architectural character. At the same time, a building's roof style (e.g., hip, gable, flat), pitch, color, and covering material provide a unifying effect with other surrounding buildings. Generally, commercial buildings within the West End have flat roofs with a parapet while residential buildings have pitched roofs. Many residential roofs in the West End contain architectural features like dormers and cupolas that help break long roof expanses. To help maintain these as built characteristics in the West End, all roofs on newly constructed buildings and building additions shall following the following standards:

(a) Style (flat, gabled, hip, mansard, shed):

- On new buildings, roof style shall match the predominant roof style used on buildings immediately adjacent. Immediately adjacent means the building on each side of and any building directly across the street from the subject building.
- Roofs on building additions shall match the predominant roof style on the existing building.
- Buildings using flat roofs shall be finished with a cornice and a parapet.

(b) Pitch:

- Residential buildings, except for buildings containing multiple-family housing, shall have pitched roofs and the slope shall not be less than 1:2, except in cases where the predominant roof pitch on adjacent buildings is less than 1:2.
- Multiple-family buildings, non-residential buildings, and mixed-use buildings may use pitched or flat roofs.

(c) Coverings:

- Pitched roofs shall be clad in natural or synthetic slate, architectural fiberglass shingles, or painted metal.

(d) Roof Expanses:

- Gabled, hip, mansard, and shed roof styles shall not have any roof expanse that exceeds 30 feet in any one direction without an architectural element such as a dormer, cupola, or other similar structure that breaks the roof line. Changes in roof style, roof height, and ridge direction may also be used to break the roof line.

(e) Roof Alteration:

- The original style, pitch, and covering of a roof on an existing building shall not be altered, except under circumstance where alteration is required to make the building structurally sound or water proof.

(f) Roof Color

- Roof color shall match the dominate color or accent colors used on the building (see Section 2624.b.5).
- When roof color is different than the building's dominant color, it shall be counted as an accent color.
- A building, including its roof area, shall not display more than 2 accent colors.

Typical roof styles in the West End



Gable Roofs



Hip Roofs



Mansard Roofs

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Cottage Roofs

Dutch hip Roofs

Flat commercial roof



Mutiple-family buildings may use flat roofs, but a cornice and parapet are required.

Non-residential buildings may use flat roofs, but when a gabled roof is used the pitch shall be at least 1:2.



Shown above are three examples of sloped roof treatments that may be used on new residential or mixed-use buildings. These styles provide much more visual interest than a flat roof.

(18) **Rooftop Utilities:** Mechanical equipment mounted on a roof shall be integrated into the roof's design and shall be screened from view. On buildings

with pitched roofs, all mechanical equipment shall be placed on the rear side of the roof.

(19) **Shutters**: The use of shutters is restricted to residential uses and residential buildings. All shutters used shall be made of wood or metal. The use of shutters is encouraged and when used, shutters should be operable and should fit the opening to which they are adjacent. Example: a four-foot wide window should not have two one-foot wide shutters. Rather, each shutter should be two-feet wide. Using both shutters and awnings at the same window is prohibited.

(20) **Stair Towers and Fire Escapes** (When Required):

- (a) External stair towers and fire escapes are only permitted to be located on the side or rear of a building.
- (b) When located on the side, no portion of the structure should extend forward of the building's midline, except in circumstances where there is no other reasonable way to gain egress.
- (c) No portion of the structure shall be affixed to or otherwise fasten to an existing porch or built over top of an existing front porch that wraps around the corner.
- (d) Removal of existing porches to accommodate stair tower and fire escape construction is expressly prohibited.
- (e) Steps and landings built on the side of a building shall exit toward the rear and not towards the building's front.
- (f) When stair towers or fire escapes are covered with a roof, the roof's style, slope, and covering material shall match that of the primary roof on the building.
- (g) All visible parts of the structure shall be painted, stained, or otherwise treated to blend with color pallet used on the building. Visible pressure treated wood components, if used, shall be painted, stained, or otherwise treated, as mentioned above, during installation and shall not be left to weather.

Sample of **Stair Tower/Fire Escape** treatments.



A stair tower extending beyond the side of the building compromises the front façade and is prohibited.



Fire escape built over the porch is prohibited.



An unpainted fire escape, like this one, is prohibited.



Stair towers located in side or rear yards, like these, have no impact to the front façade.

(21) **Windows:**

- (a) On commercial buildings and mixed-use buildings, clear glazing is required in all ground level front façade windows, except frosted window glazing may be used to provide ornamentation or signage to the extent that it does not cover more than 20% of any individual window's surface area.
- (b) On new commercial buildings and mixed-use buildings, at least 50% of the surface area of the ground floor's front façade shall be devoted to windows affording pedestrian view into the building. Exception: Contributing buildings within the Historic Overlay District are exempted from this requirement.
- (c) On new commercial buildings, total window area shall range between 25% and 75% of the building's total wall surface area. Exception: Contributing buildings within the Historic Overlay District are exempted from this requirement.
- (d) On mixed-use buildings, ground level storefront windows shall be larger than upper story residential windows.
- (e) Residential windows shall be predominantly a double hung style.
- (f) Upper story fenestration should match or be similar to fenestrations used on surrounding buildings.

Examples of appropriate **store front window treatments** on new commercial buildings and new mixed-use buildings.

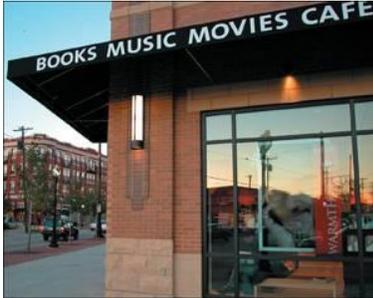


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Lower store front windows should be larger than upper residential windows.

At least 50% of the ground floor's front façade must be glazing.

Appropriate window treatment on a mixed-use building. The store front windows are larger than the residential.



Clear glass window panel with simple window pane and decorative awnings maximizes interior visibility.

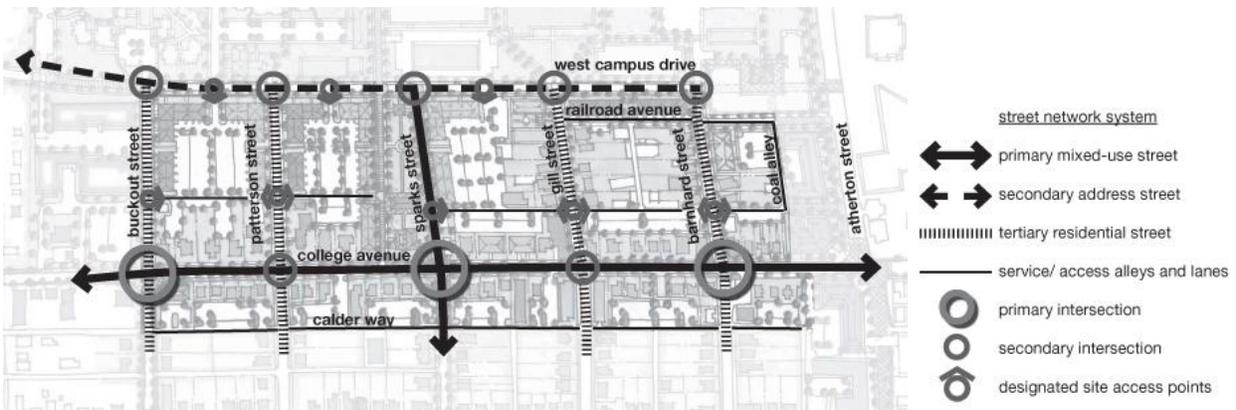
Use of clear glass in window design allows for higher ground floor visibility.

Simple geometry window and door panes complement architectural column and cornice details

Section 2625. Public Realm Design Elements.

a. Street Design Guidelines.

The West End's streets are divided into four categories: Primary and Principal Mixed-use Streets, Secondary Address Streets, Tertiary Residential Streets and Service Alleys. The design guidelines and typical street cross sections for these street types are on the pages which follow. The diagrams below demonstrate street hierarchy, circulation patterns, key intersections and access points in each zone's anticipated development.

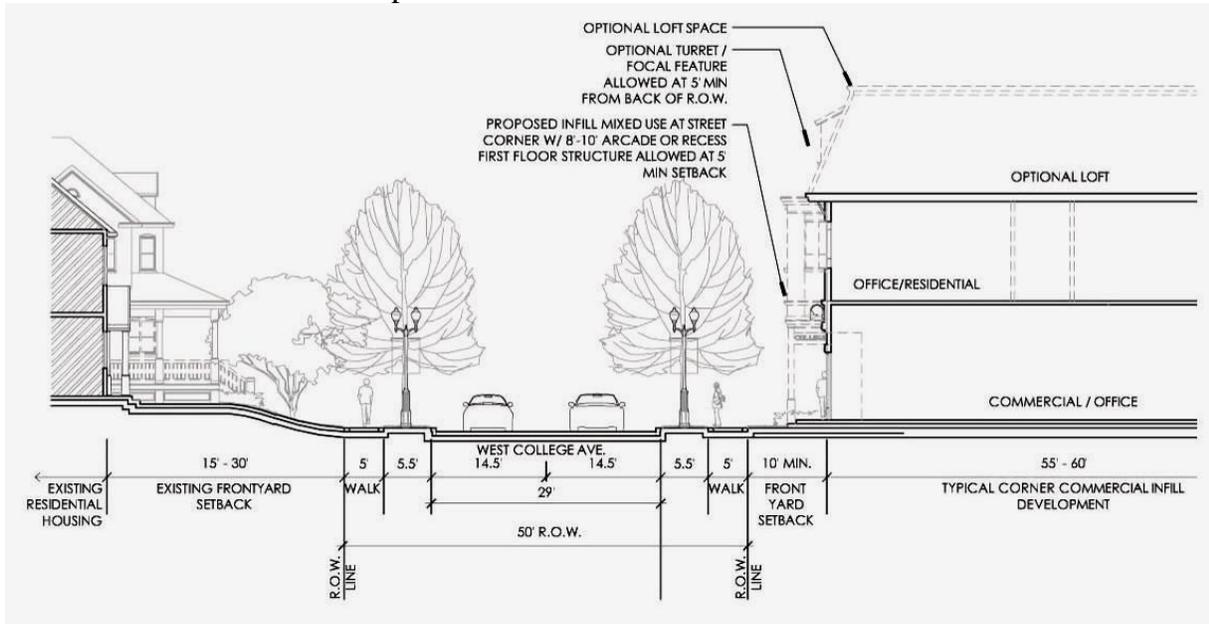


West End TND District Circulation Diagram

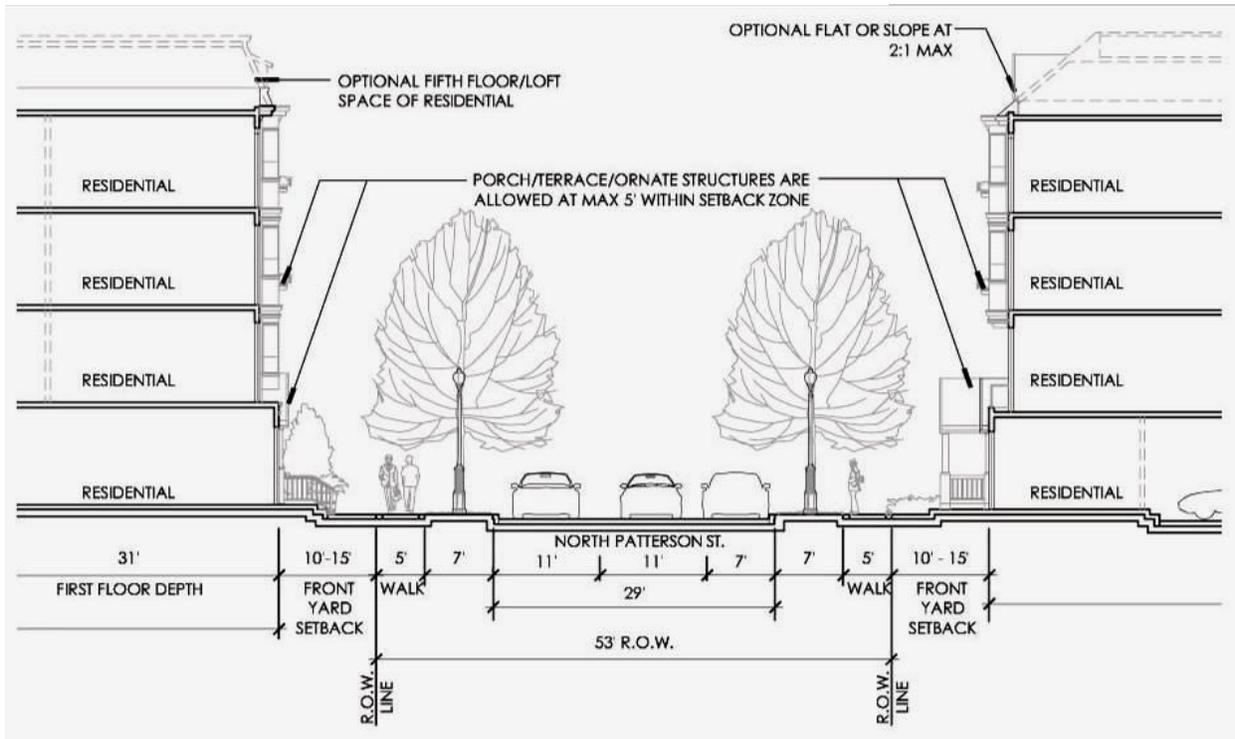
(1) **Primary and Principal Mixed-Use Streets.** The following existing public streets in the West End TND District have been designated as **Primary and Principal Mixed-use Streets** for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

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- West College Avenue
- North Sparks Street



Typical Infill Mixed-Use Streetscape along West College Avenue.



Typical Infill Residential Streetscape along North Sparks Street.

- **Primary and Principal Mixed-use Street Characteristics.**

Recommended principle qualities of College Avenue and North Sparks Street include the following items:

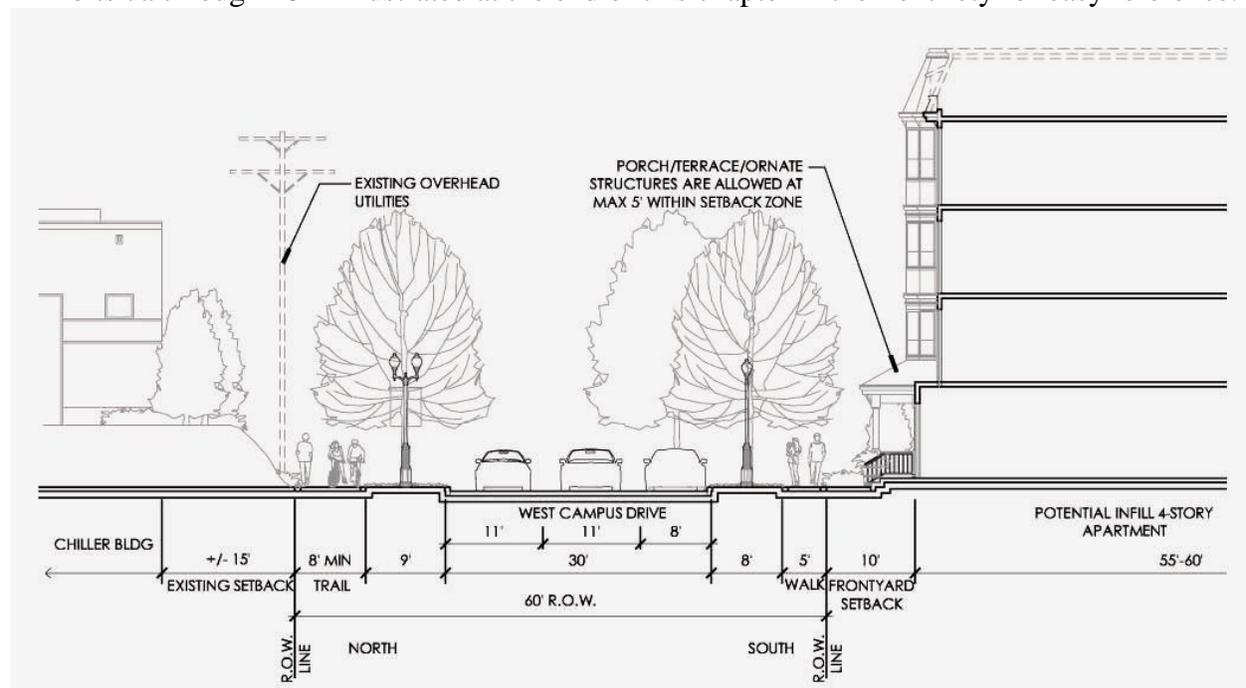
- Movement: Free, signalized, two-way pattern.
- Lanes: 2 Lanes at 14.5 foot lane width measured from back of curb. Additional turn lane locations and configuration, if required, shall be approved by the Borough.
- Right of Way: 50 feet (varies by existing conditions).
- Building Line: 10 to 15 foot from back of right-of-way. Awnings, shutters, flower beds, and/or raised open terraces shall be allowed within the set back distance with Borough approval.
- Sidewalks: Minimum width of 5 feet on both sides of the street.
- Drainage: Curb inlets, underground conveyance.
- Curbs: Raised, with gutter pan.
- Curb Returns: 15 to 25 foot radius per intersectional requirements. The radius will be adequate to accommodate an “SU-20” design vehicle.
- Street locations and geometry shall be in accord with final site plans.
- Planting Zone: 5 to 8 foot wide planting zone between back of curb and sidewalk or tree pits (minimum size 4 feet x 8 feet) along both sides of the street. All planting zones shall be incorporated into the paving design. The Zones shall be continuous and will include trees and ground covers (subject to specific use). Planting inside the public right-of-way will be subject to the Borough review and approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, other fixed objects and streetscape elements will be located entirely outside of the public right-of-way (see Section 10 for planting requirements). An additional planting zone (Planting Buffer) of 6 feet minimum outside public right-of-way is required along the sidewalk for development with surface parking at the street front, and will be subject to the Borough review and approval at the time of site plan submission (existing development subject to Planting Buffer requirement is to be in compliance within 2 years.)
- Tree Planting: Planting of trees will not conflict with utilities or will the planting of trees affect sight distance requirements.
- Bikeway: Either a striped bikeway as part of roadway paving along both sides of West Campus Drive or a separate area. Minimum width of bikeway shall be three (3) feet within public right-of-way.
- Bikeway trails: may be installed in lieu of sidewalks, but sidewalks will not be substituted for bikeways.

- Street Lighting: Pedestrian scale with a pole height of 12 to 14 feet above grade with cut-off reflector luminaries and served by underground utilities.
- Street Elements: Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the Borough.
- Bus Pull Out: Bus pullouts may be substituted for on-street parking at select locations.

(2) **Secondary Address Streets.** The following existing public streets in the West End TND District have been designated as Secondary Address Streets for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

- West Campus Drive

This street provides vehicular access and connections throughout the West End TND District and the adjacent developable/developed sites and blocks. These streets are characterized by slower moving traffic and a pedestrian oriented streetscape. They also provide the principal access to parking facilities. Any improvements shall comply with the Borough's Street standards and shall follow the requirements of these referenced, illustrated sections: Exhibits 7a through 10h2 illustrated at the end of this chapter in their entirety for easy reference.



Typical Infill Address Streetscape along West Campus Drive

- **Secondary Address Street Characteristics.** Recommended principal qualities of Address Streets include the following:
 - Movement: Free, un-signalized two-way pattern.
 - Lanes: 2 Lanes (10 to 11 foot lane widths measured from back of curb, varies by existing public right-of-way width. Where existing right-of-way width allows, a turn lane, if required by City or Planning Commission at site plan review, shall be set at 10-foot wide.
 - Parking: Parallel on-street parking shall only occur along one side of the street (optional parallel parking as required where existing right-of-way width is 45 feet or more). The parking stalls shall be seven (7) feet x 22 feet.
 - Right of Way: 40 to 50 feet varies by existing condition.
 - Building Line: 10 to 15 feet from back of public right-of-way varies by building uses, height and/or architectural façade treatment (see Chapter 6: Building Consideration). Awnings, shutters, flower beds, and/or raised open terraces shall be allowed within the set back distance with Borough approval. Development with a proposed building line set back more than 15 feet with surface parking at street front subject to the Borough’s review and approval at the time of site plan submission.
 - Sidewalks: Minimum of five (5) feet wide on both sides of the street (subject to specific use).
 - Drainage: Curb inlets, underground conveyance.
 - Curbs: Raised, with gutter pan.
 - Curb Returns: 15 to 25 foot radius (per intersectional requirements). The radius will be adequate to accommodate an “SU-20” design vehicle.
 - Street locations and geometry shall be in accord with final site plans.
 - Planting Zone: Five (5) foot wide minimum planting zone between back of curb and sidewalk or tree pits (minimum size 4 feet x 8 feet) incorporated into the paving and parking design on both sides of the street. The planting zone will include trees and ground covers (subject to specific use) and shall be continuous for the entire length of the street, unless interrupted by a node or special feature. Planting inside the public right-of-way will be subject to planning staff review and approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, streetscape elements and other fixed objects will be located entirely inside of the public right-of-way (see Section 2630. for planting requirements). An additional planting zone (front yard planting buffer) of 6 to 8 feet minimum outside the public right-of-way is required along the sidewalk and will be subject to the Borough’s review and approval at the time of site plan submission.

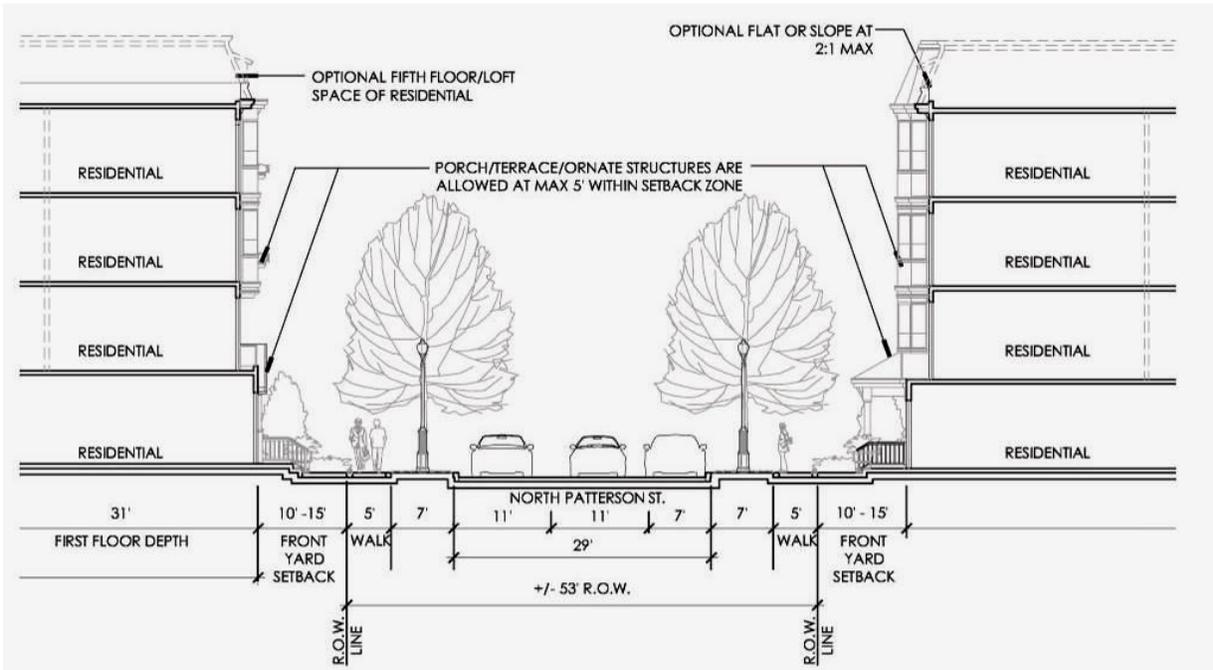
- Tree Planting: Planting of trees will not conflict with utilities, or will the planting of trees affect sight distance requirements at street corners and site entry/egress points.
- Street Lighting: Pedestrian scale with a pole height of 12 to 14 feet above grade and served by underground utilities.
- Street Elements: Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the State College Borough DPW. See street cross section on the following page.

(3) **Tertiary Residential Streets.** The following existing public streets in the West End TND District have been designated as Residential Streets for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

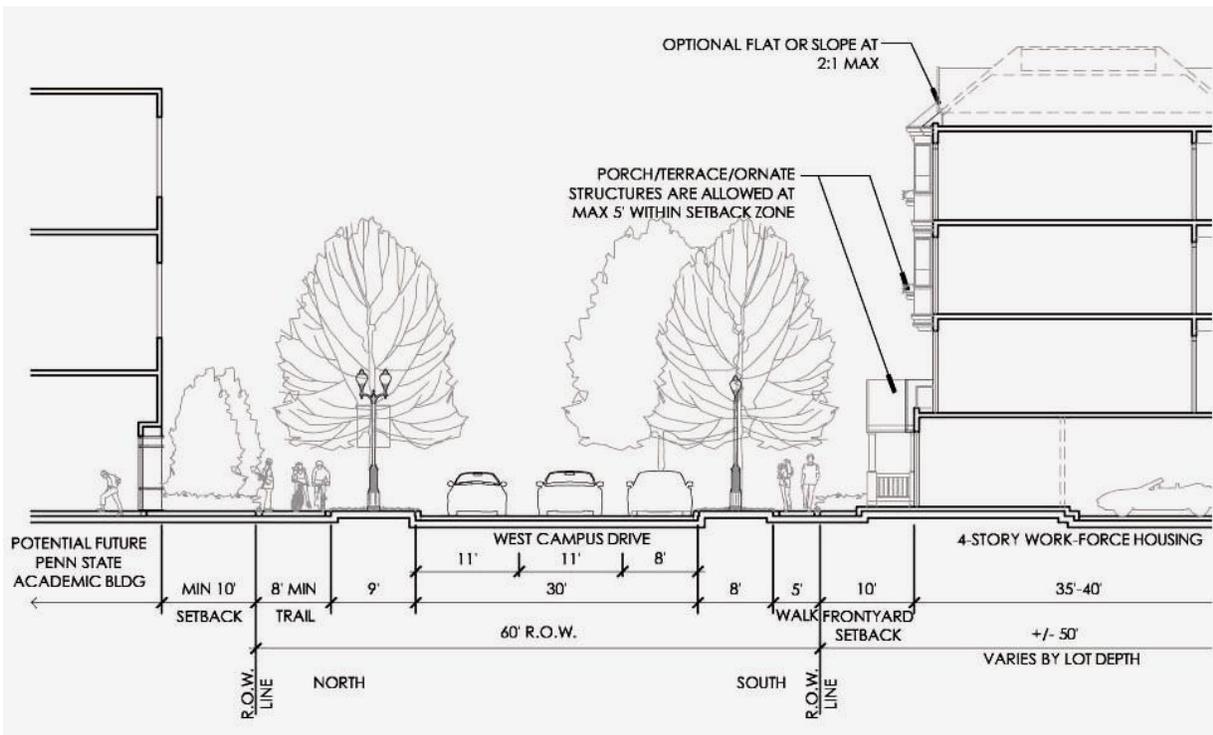
- North Buckhout Street
- North Patterson Street
- North Gill Street
- North Barnard Street

Residential Streets provide the secondary circulation within the West End TND District and provide access to adjacent parcels.

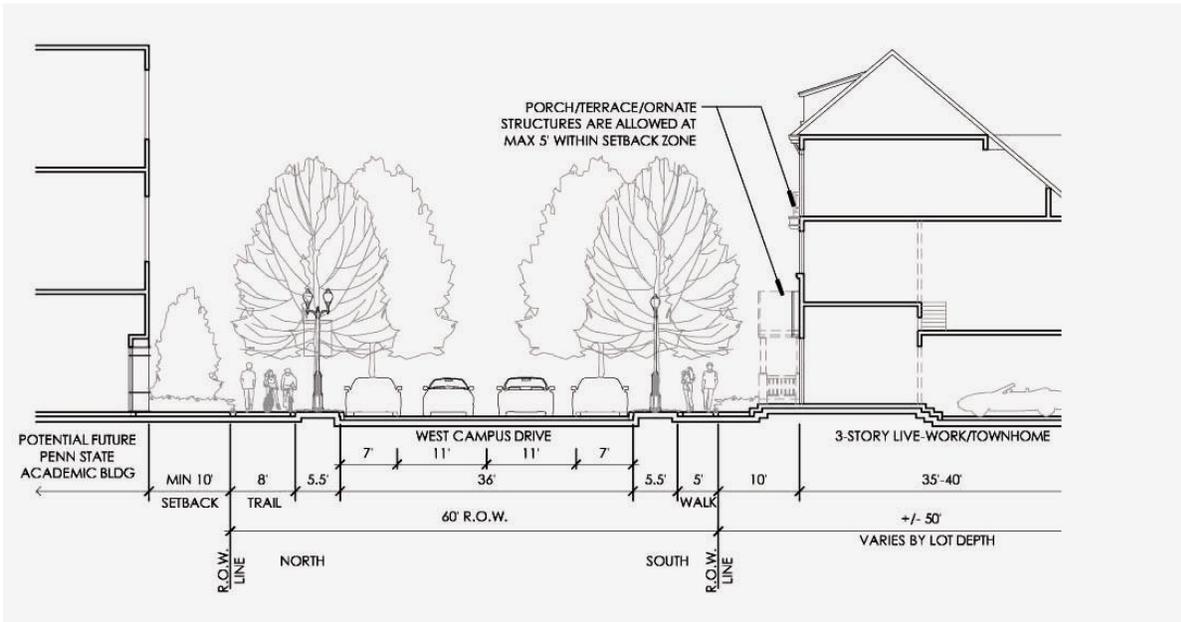
- **Tertiary Residential Street Characteristics.** Recommended principal qualities of Residential Streets include the following items:
 - Movement: Free, un-signalized, two-way pattern. Design Speed: 20 mph.
 - Lanes: Two (2) Lanes (10 to 11 foot lane width measured from back of curb, with no turn lanes).
 - Right of Way: 40 to 50 feet varies by existing conditions.
 - Building Line: Minimum of 10 feet from back of public right-of-way varies by building uses, height and/or architectural façade treatment (see Sections 2622. Building Considerations and Section 2623. Overview of Guiding Principles for West End TND District Architecture). Architectural elements such as



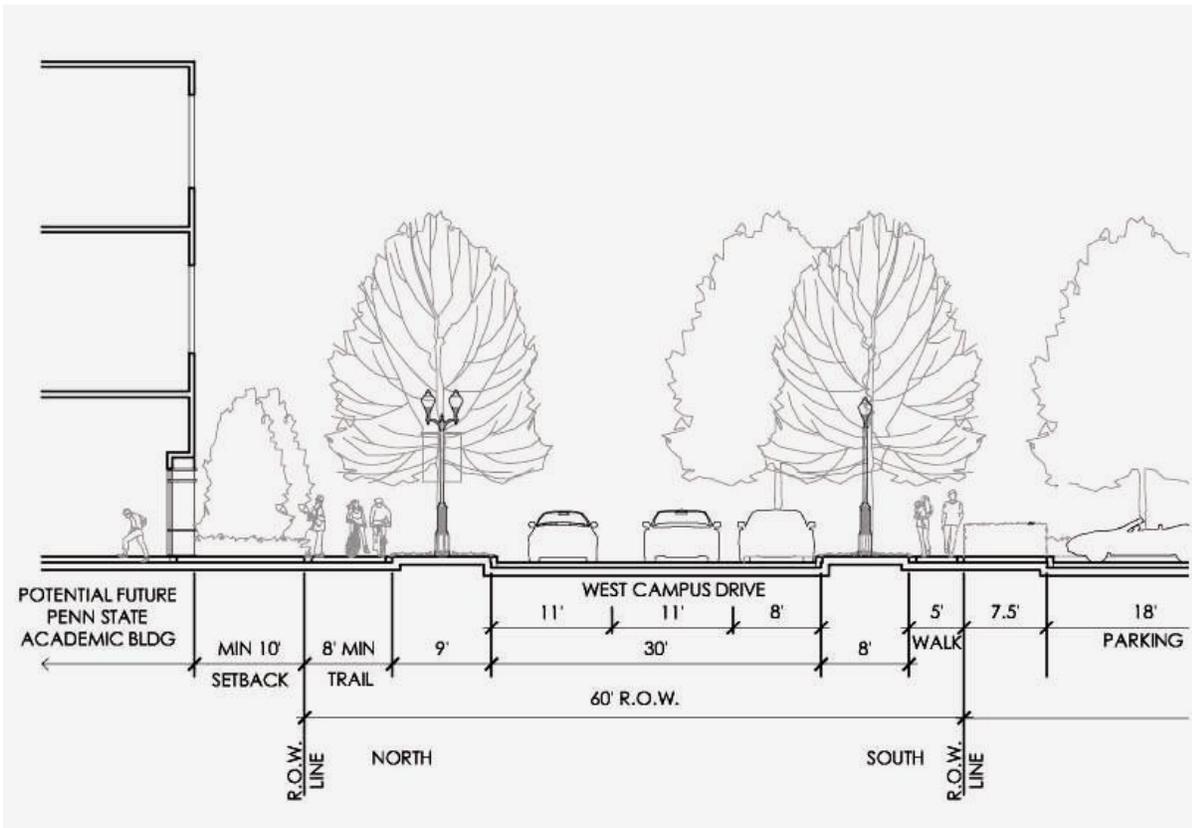
Typical Infill Residential Streetscape along North Patterson Street



Typical Infill Workforce Residential Streetscape along North Gill Street – Option 1.



Typical Infill Work-force Residential Streetscape along North Gill Street – Option 2

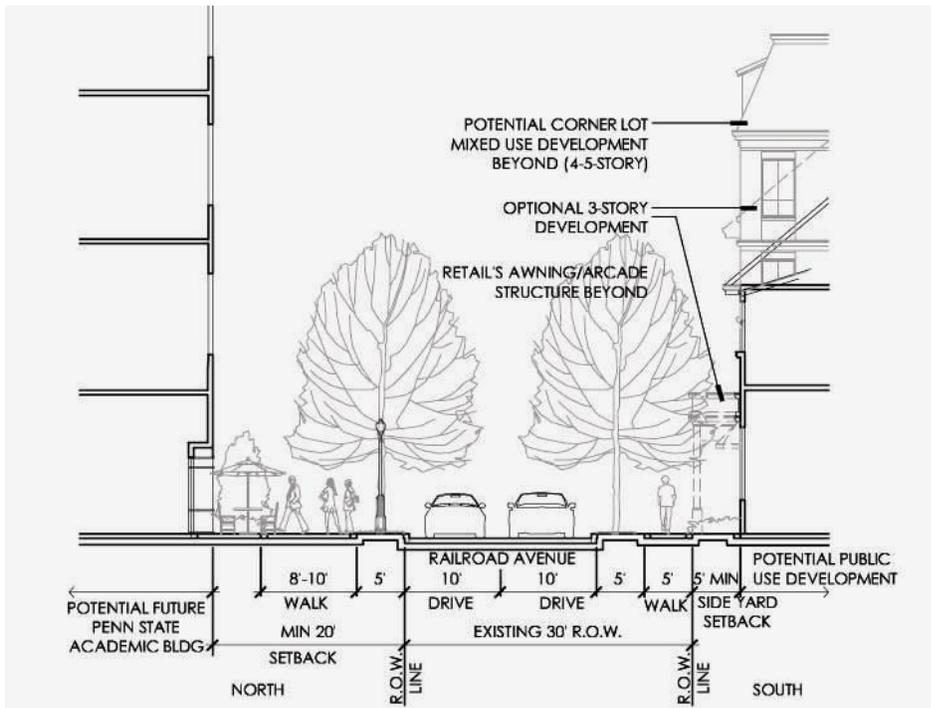


Typical Infill Work-force Residential Streetscape along North Gill Street – Option 3

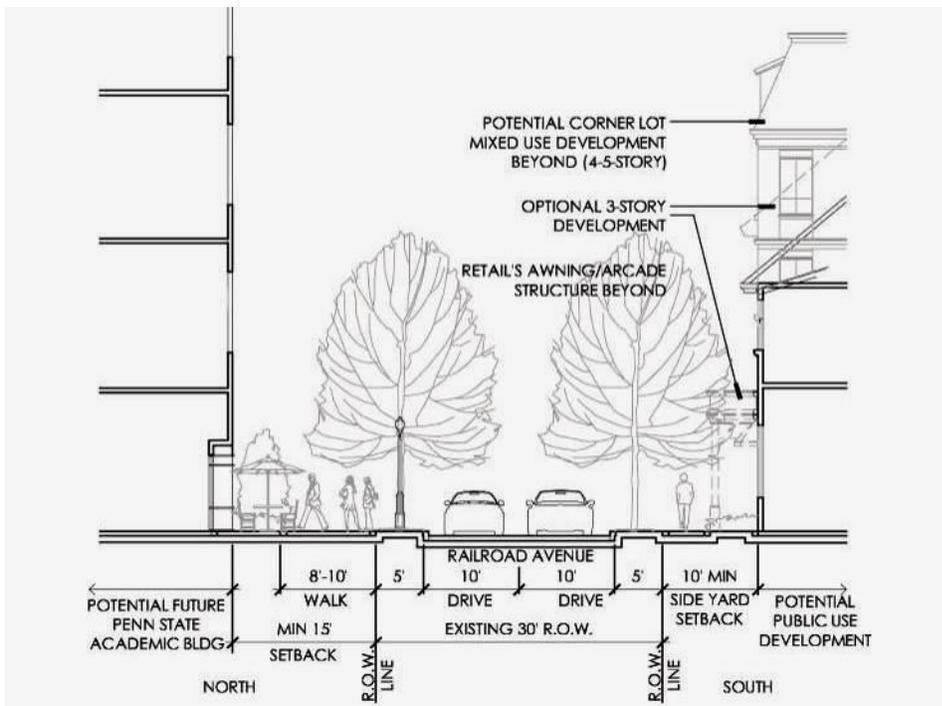
- Awnings, shutters, and/or flower beds shall be allowed within the setback distance with Borough approval. Sidewalks: Five (5) foot wide minimum along both sides of the street (subject to specific use).
- Drainage: Curb inlets, underground conveyance.
- Curbs: Raised, with gutter pan.
- Curb Returns: 15 to 25 foot radius per intersectional requirements. The radius will be adequate to accommodate an “SU-20” design vehicle.
- Street locations and geometry shall be in accord with final site plans.
- Planting Zone: Five (5) foot wide minimum planting zone between back of curb and sidewalk. The planting zones shall be continuous and will include trees and ground covers (subject to specific use). Planting inside the public right-of-way will be subject to Borough review and approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, other fixed objects and streetscape elements will be located entirely outside of the public right-of-way. An additional planting zone (Planting Buffer) of five (5) feet minimum outside public right-of-way is required along the sidewalk for development with surface parking at street front.
- Tree Planting: Planting of trees will not conflict with utilities or will the planting of trees affect sight distance requirements.
- Street Lighting: Pedestrian scale fixtures with a pole height of 12 to 14 feet above grade and served by underground utilities.
- Street Elements: Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the Borough.

(4) **Service Alleys.** The following existing public alleys in the West End District have been designated as Internal Alleys and Lanes for providing access to potential infill development and parking.

- Calder Way
- Railroad Avenue
- Coal Alley



Typical Public-Use Infill along Railroad Avenue – Option 1



Typical Public-Use Infill along Railroad Avenue – Option 2

(5) **Proposed Alleys.** A system of alleyways may be also constructed within the interior portions of proposed development properties with the West End TND District. They shall be either parallel or perpendicular to the orthogonal street system and provide access for both residents and service. These alleys and special vehicular passageways may be constructed within the interior individual building sites in order to connect the proposed building(s), motor courts, surface parking lots, and/or parking structures to a public street in accordance with the following standards:

- Movement: Free, un-signalized, one or two-way pattern.
- Design Speed: 15 mph.
- Lanes: 1 to 2 Lanes (10 to 11 feet per lane with no turn lanes).
- Right of Way: 20 feet.
- Street to conform to the Borough’s standards for pavement design.
- Private street locations and geometry shall be in accord with final site plans.
- Paving materials to match those of adjacent public streets, provided that specialty pavers are permitted subject to approval of the Borough.

*Note: Sample **pedestrian and vehicular alley treatments appropriate** for the West End District are illustrated below for reference



Vehicular alleyway.



Vehicular alleyway.



Pedestrian alleyway.



Pedestrian alleyway.



Commercial pedestrian alleyway.



Pedestrian alleyway.

b. Transit Stop/Shelters are already located along College Avenue. At full development of the West End TND District and in light of the growing student population a higher use of the public transit is expected. Future proposed transit facilities should meet the following standards:

- Developments with more than 400 feet of frontage at designated CATA bus stops may construct a bus shelter that is architecturally compatible with the primary building.
- The bus stop shelters should be specified and coordinated with the character of the adjacent architecture and streetscape furnishings.
- The design and location of all bus facilities, including bus parking, on private property should be reviewed and approved by the Borough Engineer and Planning Staff.



Existing sample of CATA transit stop on North Atherton outside the District. This is the quality of stops envisioned for the West End District.

*Note: Sample **transit furnishings appropriate** to the West End are illustrated below for reference.



Urban transit stop with supporting site furnishings.



Contemporary transit shelter.



Higher quality transit shelters could be used within new developments in the West End.

c. Public Park(s).

(1) **North Sparks Street Park.** The proposed park along North Sparks Street is the core public open space of the West End TND District. Incorporating passive park features and urban landscaped spaces, the park space will create diversity with the built environment and relief experiences. The proposed park will become the center of outdoor activity for the adjacent residents and will contribute to the preservation of the area's character.

*Note: Sample **passive park design treatments appropriate** to the West End District are illustrated below for reference.



Comparable image of amenities envisioned for park.



Focal features envisioned at edge of Sparks Street Park open space.



Tiered amphitheater/stepped seating area envisioned for the central open space.



Articulated paving pattern to add interest and direct circulation.

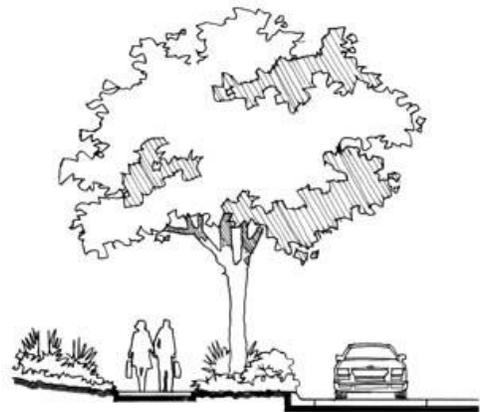


Activity and life surround the primary open space.

d. Sidewalks and Streetscape Design

(1) **Site and Building Integration** - The West End TND District is envisioned to be developed as a fully integrated multi-use district, with a strong emphasis placed on coordinated pedestrian linkages. Therefore, it is important that equal attention be paid to both pedestrian and vehicular circulation throughout the area. An integrated multi-use development provides greater opportunities to share facilities and infrastructure systems, thereby creating greater convenience and economies for users.

Adequate and safe sidewalks and areas of pedestrian circulation from street and parking areas should be provided. The sidewalks and circulation areas should be a minimum of five (5) feet in width and distinguished from vehicle use areas by using colored pavement, brick, alternative pavements and/or landscaping. Pervious hardscape materials are preferred over impervious where feasible to help reduce storm water runoff speed and quantities.



(2) **Circulation** - The previous section describes the goals for ground level pedestrian and vehicular circulation. The Borough should ensure that an integrated system of through

building passages, garage connections, pedestrian concourses, and covered walkways completes the overall circulation system.

(3) **Public Sidewalks** - Public sidewalks shall be provided by individual developers, property owners, and the Borough of State College along all streets to be publicly designated. Sidewalks shall connect to the existing and proposed sidewalks, buildings, and public spaces associated with private developments in the West End TND District.

Consistent graphics and lighting programs should be used to identify public sidewalks. Bituminous paving should not be used in sidewalk areas. Where appropriate, pervious pavement materials are preferred over impervious materials for any private sidewalk to help reduce storm water runoff.

A consistent lighting and site furnishing program should be established along all public streets in the West End TND District. Within the public right-of-way, repetitive fixtures and amenities should be present, as approved by the Borough and PennDOT.

Sample **Primary and Principal Mixed-use Streetscape materials and treatments appropriate** to the West End District are illustrated below for reference.



“Primary Mixed-Use Streetscape” with parallel parking available.



Commercial can visually spill into public realm through the use of awnings and fencing.



Pathways through buildings.

Sample **Primary Mixed-use Streetscape materials and treatments appropriate** to the West End District continued.



“Primary Mixed-Use Streetscape.”



“Primary Mix-Use Streetscape” with angled parking available.



Awnings and building fenestrations create an engaging streetscape.

Sample **Secondary Address Streetscape materials and treatments** appropriate to the West End District are illustrated below for reference.



“Secondary Address Streetscape” with parallel parking available.



Secondary “Address Streets” shall have a higher level of streetscape finishes such as the use of modular brick or concrete unit pavers.



Sample **Tertiary Residential Streetscape materials and treatments** appropriate to the West End District are illustrated below for reference.



Example of current “Residential Streetscape” treatments in the West End.



The residential streetscape treatment envisioned for key tertiary streets consists of patterned / scored concrete walkways and lawn panels.



(4) **Paving Materials** - Special sidewalk treatments, such as the use of brick or colored concrete pavers, add color and interest to a streetscape environment. Masonry pavers are cost effective over the long-term due to their durability and ability to be removed and reset for underground repair of utilities. With concrete sidewalks, the constant need for access to utilities in commercial corridors frequently results in unsightly concrete patching. The level of quality in the streetscape environment can be greatly enhanced through the North Sparks Street Corridor. A hierarchy of three paving material palettes is suggested below for use in the West End’s designated public Primary and Principal Mixed-Use Streets, Secondary Streets, and Tertiary Residential Streets as follows:

- Primary and Principal Mixed-Use Street – 100% full brick or slate specialty paving walkways with pre-cast concrete raised planters in commercial areas or tree lawns in residential areas.
- Secondary Street – 70% colored concrete pavers and 30% brick or slate specialty paving with in-ground planters in commercial areas or tree lawns in residential areas.

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- Residential Street – 90% poured concrete with 10% brick or slate paving marking entrances to residences with tree lawns along the curb.

Use of these sidewalk paving materials requires Borough permission beforehand.

Sample **hierarchy of paving materials and treatments appropriate** to the West End District are illustrated below for reference.



“Mixed-use Streetscape” full brick or concrete unit paver streetscape palette



“Address Streetscape” brick and concrete pavers or patterned concrete streetscape



“Residential Streetscape” simple patterned or scored concrete streetscape

(5) **Crosswalks** - Pedestrian crosswalks in the West End TND District should be consistent in layout and design; however, the materials used for implementation may differ between crossings. The surface treatment of crosswalks will vary depending on the types of streets of which it is comprised. In areas where a more elaborate streetscape crosses one that is less so, the crosswalk treatment shall respond to the more elaborate of the two. Thus, where a brick streetscape crosses a concrete streetscape, the crosswalks should match the brick.

The dimensions for crosswalks may vary from street to street. It is generally desirable to align the outer limits of crosswalks with the building facades or rights-of-way of the two intersecting streets. The inner limits of the crosswalks are then defined by adopting standard dimensions for crossing widths (ranging from 10’ to 15’ or equal to the sidewalk/right-of-way width. This approach allows the streetscape to continue visually across the street. However, this approach does not always work due to misaligned building facades, curvilinear streets or misaligned streets. In such cases it is best to run crosswalks parallel to a line projected from face of curb to face of curb from the misaligned roadways.

Street crosswalks should be provided across all public streets, private vehicular access ways, motor courts and service drives located between parking areas and building entrances. To enhance public safety, minimize crossing conflicts and provide visual cues to both pedestrians and motorists, all pedestrian street crossing should be well defined. Articulating crosswalks through contrasting unit paving materials and painted striping will provide a designated path for pedestrians.

Crosswalks should be a minimum of eight (8) feet wide. Crosswalks at the key intersections indicated on the diagrams in the previous pages shall be a Type 1 Crosswalk - stamped and

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colored asphalt with a 1'-0" white paint band outlining both sides of the crosswalk or a brick/concrete unit paver field with a 1'-0" concrete band outlining both sides of the crosswalk. All other crosswalks should be a Type 2 Crosswalk - striped with white paint or thermoplastic vinyl tape. All final crosswalk and associated curb ramp designs should be reviewed for compliance with the Americans with Disabilities Act Accessibility Guidelines.

*Note: Sample **hierarchy of crosswalk materials and treatments appropriate** to the West End District are illustrated below for reference.



Address Streetscape crosswalk treatment – Stamped Asphalt with painted or thermoplastic borders



Address Streetscape crosswalk treatment – Unit Pavers with Concrete bands.



High-quality, pedestrian gateway crosswalk installation near the Naval Academy Campus - Annapolis, MD.



Residential Streetscape crosswalk treatment – striped with paint or thermoplastic vinyl tape.



Streetscape crosswalk treatment along College Avenue– striped with paint or thermoplastic vinyl tape.



A 2' wide strip of tactile pavers shall be used to identify all crosswalk locations on the sidewalk ramps.

(6) Trails/Pathways - Formalized/maintained trails and pathways should be provided within the West End TND District area through naturalized public spaces and common areas, forming a continuous, looping circulation system connected to the traditional public sidewalks. Where appropriate within environmentally sensitive areas, a curvilinear alignment and layout that preserves existing and natural vegetation/features and accenting major views of interest shall be used.

Sample trail and pathway materials and treatments appropriate to the West End District are illustrated below for reference.



Example of typical bike trail envisioned for West Campus Drive.



Sample urban trail delineated by the use of colored, stamped concrete or paver material envisioned for the West End.

(7) **Tree Planters.**

- **Use** - As referenced in the earlier sidewalk guideline sections, in-ground tree planters are the preferred alternative to tree grates for newly planted street trees. The in-ground planting bed concept provides for a greener streetscape environment while providing water absorption, lessening the risk of compaction and providing increased room for healthy root growth. Pedestrians are discouraged from walking through the planters by elevating them slightly with a coping edge and planting with ground cover or low shrub masses (1' high maximum).
- **Location** - The in-ground planters should only be used in areas where a walkway minimum of eight (8) feet from building face can be maintained for pedestrian flow. If tree planting beds are used on narrower walks, pedestrians will feel confined and disregard the planter boundaries by walking through them. In these circumstances it is better to use tree grates with underground structural soils and aeration trenches to encourage controlled root growth under the sidewalks.

e. **Streetscape and Site Materials/Furnishings**

(1) **Elements** - The detail elements of a streetscape play a vital role in creating a desired theme or sense of place in urban environs. The elements to be considered are paving, crosswalks, lights, benches, trash receptacles, in-ground planters, bicycle racks and plant materials. These items can be chosen as a stocked item or they can be custom designed depending on the desired look, budget and level of desired future maintenance. Regardless of

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the direction taken, careful study must be taken when organizing a family of streetscape elements to be used.

(2) **Quality and Durability** - Streetscapes should be thought of as long-term investments and their quality should not be compromised by budget. Streetscape elements should be chosen for their overall response to design, cost, structural stability, durability, and sustainability qualities. The elements presented in this section have been selected with these qualities in mind as well as past experiences with similar models or the manufacturers. They are intended to serve as guidelines for comparison with furnishings and materials put forth in development proposals as well as comparison with local manufacturers offering the same or similar streetscape elements.

*Note: Sample **existing and new site furnishing styles and treatments appropriate** to the West End District are illustrated below for reference.



Typical State College Borough Center furnishings



A variety of traditionally themed furnishings will help re-enforce the street hierarchy.



(3) **Coordinated Materials** - Establishing a variety of coordinated street furnishings or hardscape improvements are strongly encouraged given that there are a variety of building styles in the district. The final selection of the palette of materials will be made by the Borough prior to commencement of construction of any public improvements within the West End TND District. The following general guidelines apply:

- Bollards may be used in a number of applications, provided that they are a minimum twelve (12) to eighteen (18) inches in diameter. Pre-cast concrete and metal are acceptable materials. No fiberglass or wood materials shall be used.
- Metal flagpoles to match the existing street lighting are permitted for the flying of the American, Commonwealth of Pennsylvania, international, festival, and corporate flags. Flagpole heights shall not exceed 30 feet.
- Where used, pole mounted sources shall have a controlled cutoff reflector and shall match public street lighting. Light sources shall produce a white light. Colored lenses will be generally prohibited. Lighting shall be

positioned and/or screened to minimize light spillover to adjacent sites and communities.

- Sculpture may be used but shall be appropriate in scale, form, and texture. It shall not produce noise (other than that can be generated from moving water) or contain flashing or moving lights. Fountains and water features may be appropriate in plaza areas.

The Borough reserves the right to review and approve all street and hardscape furnishings. Additional guidelines are presented for each of the specific streetscape and site furnishing items which follow.

(4) **Telephone Enclosures** - All telephone enclosures should be decorative in nature. They should have a consistent theme throughout the West End TND District and shall be approved by the Borough.

(5) **Trash Receptacles** - This often overlooked fixture can play a very important role in the quality of a streetscape environment. If trash receptacles are available and properly located the public will use them. Properly designed, they can be an attractive sidewalk element. Trash receptacles should be placed in public plaza areas, open green spaces, parks, bus stops, highly trafficked street corners and other sections of the West End TND District where people will congregate. Trash receptacles should also be located outside of food service facilities and convenience stores. They should not be placed where they would interfere with pedestrian or ADA movement.

Approved materials are stone, pre-cast concrete, and metal. To the extent feasible, trash receptacle colors and materials should complement and be coordinated with adjacent buildings and other site furnishings. The design, quantity, and locations of trash receptacles will be reviewed and approved by the Borough Engineer. Recommendations of appropriate trash receptacles are listed below.

- Covered top is preferred
- Receptacle includes a min of 30-gallon capacity polyethylene liner
- Side or top opening styles
- Hinged door allows easy access for emptying; opens with toe clip mechanism, latches when closed
- Free-standing/surface mount pads, shipped with glides standard
- Ash urns formed of 1/8in. recycled aluminum; hooks onto top rod of receptacle door
- LEED Recommendation:
 - Litter receptacles should have a recycled material content of 75% or greater of which 50% or greater is post consumer and 30% or

greater is post industrial. Receptacle liners should be 100% recyclable.

- o Illustrated below is an array of available and appropriate styles of trash receptacles from different companies.

*Note: Sample **trash receptacle furnishings appropriate** to the West End District are illustrated below for reference.



Victor Stanley
Concourse Series
Receptacle



Traditional Style Trash Receptacles - Victor
Stanley Economy Series Receptacle



Contemporary style Victor Stanley Steelsites
Series Receptacle



Industrial, Contemporary and Progressive Styles

Traditional Styles

(6) **Benches, Tables and Chairs** - Benches offer a place to rest, wait and watch. Placement shall depend on identified areas of need and not interfere with pedestrian movement. Benches, tables and chairs should be provided within all future public enhancement and private development projects in the West End. Color and style should complement and be coordinated with the building and paving materials. Construction should be of contoured, recycled wood, plastic or metal with the frame and/or end members constructed of heavy metal for quality and durability.

In recent years the availability of quality benches has dramatically increased. There are standard models on the market which are compatible with the themes envisioned for the West End TND District. Recommended bench styles for consideration in each district are illustrated below. The design and location of benches and other related furnishings shall be reviewed and approved by the Borough on a case by case basis during site plan review.

*Note: Sample **bench furnishings appropriate** to the West End District are illustrated below for reference.



Traditional Style - Victor Stanley Classic Series Bench



Traditional Style Bench - Victor Stanley City Sites Series Bench



Contemporary version of traditional bench Victor Stanley Framers Modern Series Bench.

- Additional LEED Recommendations:
 - Benches should have a high percentage of recycled content.
 - Powder coating finish shall not contain any heavy metals, shall be HAPS-free and shall have negligible VOCs.

(7) **Bicycle Parking Stanchions** - Bicycle racks shall be provided within the West End TND District, surface parking lots and in designated areas along Primary Mixed-Use Streets and Secondary Address Streets. Where bicycle racks are to be installed in residential areas, they shall be sited to minimize their appearance from the public streetscape. The design, quantity, and locations of bicycle racks will be reviewed and approved by the Borough Engineer. The color should complement the proposed streetscape improvements. Recommended bicycle racks styles are illustrated below.

- Bike rack requirements:
 - One bicycle stanchion parking space for every twenty (20) motor vehicle parking spaces or a rack(s) that will hold ten (5) bicycles (permanently anchored) shall be provided. The bicycle rack(s) must be visually and physically accessible from the public sidewalk and street.
- LEED Recommendations:
 - Bike racks should have a high percentage of recycled content.
 - Powder coating finish should not contain any heavy metals, should be HAPS-free and should have negligible VOCs.

*Note: Sample **bicycle racks and stanchions appropriate** to the West End District are illustrated below for reference.



Victor Stanley – T Series Bollard



Landscape Forms – PI Rack



Landscape Forms Multi-Bike Rack



Landscape Forms Circular Bike Rack



Landscape Forms

f. Bikeways

- (1) **Intent.** Roadway surfaces should be designed to accommodate bicyclists and shall connect to the surrounding existing and planned bicycle systems and link PSU, downtown, parks, open spaces, schools, libraries, civic buildings and neighborhoods within the area. Bike lanes should meet all local transportation and state regulations. Bikeway lanes should be properly located along Primary Mixed-Use Streets and Secondary Address Streets. Accommodations for bicyclists should be primarily for the recreational or leisure cyclist. Traveling at relatively slow speeds, the cyclists will likely make frequent stops along the West End TND District. Therefore, bike racks should be located at various locations throughout the downtown to provide safe and convenient temporary storage. Areas that are designated for bicyclists should use paving materials that are smooth and free of obstruction. There ought to be a clearly designated separation between bicycle zones and vehicular areas. This separation can be established by using varying colors or materials, where possible.*Note: Sample bikeway treatments appropriate to the West End District are illustrated below for reference.



Walkway systems can also be designed to accommodate a mix of pedestrian and bicycle use.

Shared use off-road pedestrian / bike trails links should be used along the West Campus Drive Corridor.

Section 2626. Lighting

Adequate lighting is essential to both the business community and residents, because it increase visibility and security. The following are general recommendations to consider when designing for lighting in the public realm.

a. Intent. The lighting regulations, controls and provisions set forth in these design guidelines are made in accordance with an overall plan and program for the public safety, area development, preservation of property values and the general welfare of the Borough and West End TND District, and are intended to further support the lighting regulations specified in the Borough's Codification of Ordinances, Chapter XIX, Part K Lighting.

b. Light Fixture Design Standards

(1) A **coordinated hierarchy and diversity of lighting** and intensities is recommended to maximize the quality of the nighttime environment along the West End area and to guide pedestrians and motorists through the West End neighborhood area, and accent special features. Special features may include but are not limited to parks, courtyards, building entrances, pathways, and open spaces. This hierarchy and diversity should respond to the relative enclosures, spaces, plant and building materials along with building heights and architectural features.

(2) **Lighting design recommendations** apply to:

- All public streets within the West End TND District.
- Public pedestrian areas.

(3) **Public Lighting** - Public streets within the West End TND District should be illuminated using pedestrian-scale lighting (12 to 14-foot pole height) with a controlled light distribution pattern. The controlled light distribution minimizes excess illumination

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of adjacent properties. Controlling light distribution also allows for the use of lighting as a design feature and to promote safety. The streets that are intended to serve a dual use for “festival activities” and “outdoor markets” should include supplemental lighting and appropriate electrical conduit and service connections to fulfill this purpose.

(4) **Lighting Layout** - A lighting plan should be prepared for all proposed lighting improvements. The plan shall provide both vertical and horizontal illumination levels.

(5) **Pedestrian Lighting Requirements** - A white-colored, high-efficiency light source, preferably compact fluorescent or LED lighting, should be used to give a truer rendition of the existing surfaces that are being illuminated. Lighting in public pedestrian plazas, pedestrian connections and sitting areas shall provide reasonable levels of nighttime visibility. Accent lighting should be used at special locations such as stairs, entry signage, and sculpture.

*Note: Sample **lighting styles currently found on College Avenue** in the Borough Center for reference.



*Note: Sample **lighting styles appropriate** for the West End District are illustrated below for reference.



Traditional aluminum fixture with refractive globe and top to reduce night glare



Traditional aluminum fixture with sharp cut-off optics to address "Night Skies" initiatives in urban areas. – 12'-14'



Traditional style streetlight fixtures should be used at intersection requiring more light for safety. – 20' Maximum Height Permitted

*Note: Sample **lighting styles appropriate** for the West End District continued.



Cobra head streetlights are not recommended for use in the West End District.



Traditional "shoebox" sharp cut-off parking lot lighting – 20' Maximum Height recommended.



Streetlights should be designed to accommodate banners and associated wind loads on pole design. 4" Minimum pole

Section 2627. Modifications

a. Hardship Conditions. The Planning Commission may grant a modification to any of the Detailed Architectural Standards when the Commission determines that the literal enforcement of a provision would exact undue hardship because of peculiar conditions

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pertaining to the land in question, provided that such modification will not be contrary to the public interest and that the purpose and intent of the ordinance is observed.

b. Requests. All requests for a modification shall be in writing and shall accompany and be a part of the application for development. The request shall state the grounds and facts of unreasonableness or hardship on which the request is based.

c. Written Record. The Planning Commission shall keep a written record of all actions on all requests for modifications.