

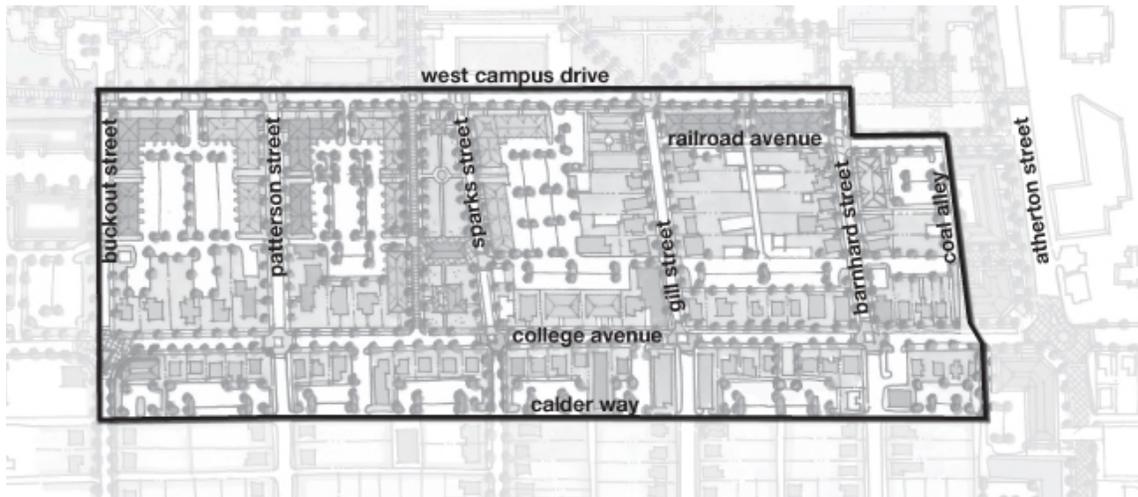
ORDINANCE \_\_\_\_\_

AMENDING THE STATE COLLEGE BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER XIX, PART J, OF THE CODIFICATION OF ORDINANCES) BY ESTABLISHING A MANUAL OF WRITTEN AND GRAPHIC DESIGN GUIDELINES FOR THE WEST END TRADITIONAL NEIGHBORHOOD DEVELOPMENT ZONING DISTRICT.

It is hereby ENACTED AND ORDAINED by the Council of the Borough of State College, and it is Enacted and Ordained by authority of same, that Chapter XIX of the Codification of Ordinances is hereby amended as follows:

**Section 1.** Amend the Codification of Ordinances, Chapter XIX, Chapter J, Subdivision and Land Development, by including the West End Traditional Neighborhood Development (TND) District Manual of Written and Graphic Design Guidelines to read as follows:

**Section 2620. Introduction.** To provide guidelines for development activity in the designated area as shown in Exhibit 1: The West End TND District Boundary Map and known as the West End Traditional Neighborhood Development (TND) District from Calder Alley to the south, West Campus Drive to the north, Ferguson Township to the west and Coal Alley to the east. Also to strengthen the physical and economic character of the Neighborhood by promoting and encouraging consistency in the quality of design and compatibility with the existing character of the area and the neighborhood residents' vision as emerged through the West End Neighborhood Revitalization Planning process.



West End TND District Guidelines Boundary Map

**Section 2621. Statutory Authorization.** Pursuant to Section 708-A of the Pennsylvania Municipalities Planning Code, a specific and detailed Manual of Written and Graphic Design Guidelines is hereby established to assist applicants in the preparation of proposals for the West End TND District, Chapter XIX, Part D, Ordinance and pertains to such specific proposed features as architecture, building materials, fencing, walls, landscaping, signs, streets, pedestrian circulation, parking, yards, lighting, and streetscape.

## **Section 2622. Building Considerations.**

**a. Introduction.** As highlighted in the West End Revitalization Plan, the West End TND District will incorporate a range of newly proposed land uses that have been endorsed through a public planning process. The next step in the process is to guide the development and appearance of these land uses in a way that adds to the character and value of the neighborhood through this Manual of Written and Graphic Design Guidelines. This section describes the West End TND Design Guidelines that will aid in enhancing the spatial legibility and the overall built aesthetics of the West End Neighborhood. The guidelines provide criteria and requirements to evaluate and specify the appropriateness of specific design decisions that affect the urban neighborhood experience.

**b. A District Theme.** The various building configurations shall be integrated into an overall theme that is complementary and yet creates a dynamic set of architectural interrelationships. Each building design shall enhance the West End TND District's spatial legibility and aesthetic experience.

**c. Architectural Framework.** A building's form, silhouette, orientation, color, placement and material can either enhance or detract from the overall aesthetic appearance and experience within the West End TND District. The objective of the West End TND Design Guidelines is to ensure continuity and compatibility among all architectural features and their associated spaces to enhance the quality of life as it relates to how people experience spaces and the environment around them. This is accomplished by using the building's enclosure to define and enhance spatial legibility while also providing visual cues to add diversity and highlight key elements.

**d. Prescriptive Guidelines.** These guidelines are intended to be sensitive to market considerations by being functional and flexible and responsive to varying tenant requirements. Consequently, these guidelines are prescriptive rather than voluntary. They describe appropriate kinds of changes and improvements that can be made to existing and new structures, as well general façade enhancements. While attempting to be comprehensive in scope, these guidelines are not exhaustive in detail. Nevertheless, they address functional standards, preservation principles, and parameters that address aesthetic experiences of enclosures.

## **Section 2623. Overview of Guiding Principles for West End TND District Architecture.**

### **a. General Intent.**

(1) **Guideline Tiers.** For the purposes of these guidelines the West End TND District has been divided into three distinct sections, each with varying goals and guidelines relating to the built environment desired. They are: 1) a higher density, mixed-use development in the "Northern-tier," 2) medium-density student housing apartments and supporting mixed use/commercial development in the "Central-tier," and 3) a lower scale residential development with a potential ground floor mixed-use component in the "Southern-tier" as the primary themes for the West End TND District.

(2) **Focus Areas.** This section of the West End TND Design Guidelines is dedicated to defining the architectural siting requirements (for various block and street conditions) that will result in a better defined urban development pattern for the West End neighborhood. Outlined below are the seven areas of focus (sub-sections b-h) for site development standards, which are further defined in each of the street zones to follow in this chapter.

**b. Development Approach.**

(1) **West End Role.** The West End TND District serves as the west gateway to both the Borough Center and the PSU West Campus and as such it holds a key role in establishing a first or last impression of State College Borough as visitors enter and leave the PSU campus and Downtown to the west. As the “arrival point” for student residences and commercial business, it is important this area convey a sense of transition from the higher density quality PSU West Campus environment to the north, to the lower density, historic Holmes-Foster neighborhood to the south. The same can be said for the transition from the higher density Borough Center to the east, to the lower-density residential/commercial areas of Ferguson Township to the west.

(2) **Existing Architectural Vernacular.** The West End TND District’s building placement, streetscape treatments, yards, and alleys shall build upon the “village character” found in the district. Architectural emphasis along College Avenue, West Campus Drive and the North-South residential streets should be a modern interpretation of the Georgian/Federal, Queen Anne Victorian, French Second Empire, or bungalow styles with brick & stone masonry, wood or cementitious clapboards, stucco, slate with warm, rich colors with varying roofs, doorways and passages, and trim treatments. Use of landscape walls, hedges, and fencing at the front sidewalk edge are also encouraged to blend the built landscape with the natural landscape and further define the street edge, courtyards and passageways.

(3). **Reference Exhibits.** Outlined below is a Quick Reference List of exhibits that directly apply and illustrate the development guidelines for the West End TND District.

<b>Exhibit 1</b>	West End TND District Boundary Map
<b>Exhibit 2</b>	West End TND District Street Hierarchy Key Map
<b>Exhibit 3</b>	West End TND District Typical Guideline Plans and Sections Key Map
<b>Exhibit 4a</b>	Typical Development Plan A: Large Lot Shared Surface Parking Layout Requirements
<b>Exhibit 4b</b>	Typical Development Plan B: Single Lot Surface Parking and/or Accessory Structure Layout Requirements
<b>Exhibit 4c1</b>	Typical Development Plan C1: Residential Infill and Small Lot Shared Surface Parking lot Layout Requirements
<b>Exhibit 4c2</b>	Typical Development Plan C2: Residential Infill and Small Lot Individual Surface Parking Lot Layout Requirements
<b>Exhibit 5c3</b>	Typical Development Plan C3: Residential Infill and Small Lot Individual Surface Parking Lot Layout Requirements
<b>Exhibit 5d</b>	Typical Development Plan D: Typical Infill Surface Parking Lot Layout Requirements
<b>Exhibit 5e</b>	Typical Development Plan E: Typical Commercial/Mixed-Use Infill Layout Requirements
<b>Exhibit 6f</b>	Typical Development Plan F: Larger Mixed-use and Residential Building and Parking Layout Requirements
<b>Exhibit 7a</b>	Typical Section A: West College Avenue Typical Infill Mixed Use
<b>Exhibit 7b1</b>	Typical Section B-1: West College Avenue Typical Infill Residential
<b>Exhibit 7b2</b>	Typical Section B-2: North Patterson Street Infill Residential
<b>Exhibit 8c1</b>	Typical Section C-1: West Campus Drive Typical Work-force or Condo Development at North Gill Intersection
<b>Exhibit 8c2</b>	Typical Section C-2: West Campus Drive Typical Infill Townhome or Live-work Development at North Gill Intersection

<b>Exhibit 8c3</b>	Typical Section C-3: West Campus Drive Typical Surface Parking at North Gill Intersection
<b>Exhibit 8d</b>	Typical Section D: West Campus Drive Typical Residential Infill at North Sparks Intersection
<b>Exhibit 9e1</b>	Typical Section E-1: Railroad Avenue Typical Infill Public Use & Campus Building
<b>Exhibit 9e2</b>	Typical Section E-2: Optional Railroad Avenue Typical Infill Institutional Use & Campus Building
<b>Exhibit 9f</b>	Typical Section F: West College Avenue Typical Commercial Infill at Buckhout Road
<b>Exhibit 9g</b>	Typical Section G: North Patterson Street Infill Residential
<b>Exhibit 10h1</b>	Typical section H1: North Patterson Street Infill Residential
<b>Exhibit 10h2</b>	Typical section H1: North Sparks Street Mixed-use Infill and Public Park

## **Section 2624. Detailed Architectural Design Elements.**

### **a. General Intent.**

(1) **Introduction.** This section describes the architectural guidelines that aid in enhancing the spatial legibility and the overall aesthetics of the West End TND District. The guidelines provide criteria to evaluate the appropriateness of specific design decisions that affect the overall quality of the community and its potential “neighborhood village” experience.

(2) **Sub-district Tiers.** As highlighted in the West End Neighborhood Revitalization Plan, the College Avenue area will gradually evolve to include a range of new infill land use patterns. The “Northern-tier” (West Campus Drive) will develop as a higher density (four- to five-story maximum) residential apartment/condominium corridor designed to transition the scale of West Campus educational buildings to the north. The “Southern-tier” (West College Avenue and North Sparks Street) will continue to evolve as a higher quality, PSU student living and commercial district with mixed-use, apartments, lofts, and condominiums, which will also influence the “Central-tier” (Middle North-South Streets) to transition from older, single-family residential apartment conversions to a higher quality, medium-density apartment/loft/condominium environment with interspersed religious institutions and social organizations.

(3) **Architectural Variety.** These varying uses in the West End TND District will ultimately result in multiple building configurations which will be carefully integrated into an overall theme that is complementary and yet creates a dynamic set of architectural interrelationships. Each building design will be prepared with the goal of enhancing the neighborhood’s spatial legibility and aesthetic experience. This section describes the architectural guidelines that aid in enhancing the spatial legibility and the overall aesthetics of the West End TND District.

### **b. Architectural Framework for Adaptive Re-use to Existing Structure: Alterations and Additions to Existing Structures.**

(1) **“Adaptive reuse”** means adapting an existing, economically obsolete building for a new, more productive purpose. Within the West End TND District, where possible, adaptive re-use of an existing structure is encouraged. The West End TND District’s adaptive reuse program allows for the conversion of single-family residential buildings to new uses including apartments, live/work lofts, small retail shops, and guest rooms. A case-by-case review process will be applied to any proposed adaptive re-use projects within the West End TND District through the State College Borough Planning Department.

(2) **Compatibility.** When adopting an adaptive reuse program, the developer shall consider the compatibility of the new use with existing adjacent uses. The alterations and additions may

occur to accommodate the new use. It is recommended that prior to any alterations and/or additions to the proposed adaptive reuse structure, the developers and their designers should understand the original design, architectural styles and materials of the existing building. The following guidelines are a general framework for alterations and additions to existing buildings.

(3) **Alteration Requirements.** Design guidelines ensure a level of appropriateness when alterations and additions are made. Alterations and additions shall complement and preserve the existing physical character of both the residential streetscape and the existing structure, as follows:

- The design of the alteration or addition shall be compatible with the architectural features of the original building as it relates to size, location, scale, and materials.
- Additions to existing buildings, whenever possible, shall not be visible from the street. Rear additions are encouraged and shall be compatible with the original building.
- When an addition is made to the front of a building, the front setback shall match that of the adjoining property's front yard setback.

(4) **Materials:** Materials that closely match original materials found on a property's façade shall be used whenever possible. More traditional materials such as brick, stone, slate, or clapboard are compatible materials for historic structures. The use of materials such as vinyl and/or aluminum siding and synthetic stucco are not permitted. Material selection, however, shall reflect a similar character of such existing architectural style.

(5) **Architectural Elements and Details:**

- **Doors and Windows:** The placement and scale of doors and windows on the facades of residential buildings are important in defining the character of each individual building.
  - If replacement of doors and windows are necessary, then they shall be done in the same style, size, shape and component details of the existing doors and windows.
  - If altering and/or blocking of existing doors and windows are necessary, then it shall be done in a way that maintains the proportion, size and shape of the existing opening or compatible with the overall façade proportion and rhythm.
  - Additions and alterations shall replicate the horizontal lines of windows and doors of existing buildings to maintain continuity and rhythm between buildings.
  - If an original detail and/or design can not be replicated or such reproduction will facilitate excessive cost, it is acceptable to simplify such detail that conveys the same visual characteristics. However, proportion and type of materials shall be maintained.
  - Alteration of first-story doors and windows of adaptive reuse buildings with residential character to commercial use shall be kept minimal.

- If alteration of the first story of building is required to facilitate a storefront for commercial use, windows and doors shall be designed to be proportionately compatible with existing or second-story openings and the overall building. The use of cornice details, signs and awnings is recommended and they shall be matched with the style of the existing building and surrounding streetscape.

(6) Door and Window Examples:



Sample of street front windows accomodating retail uses with residential character of existing building.

Retail windows with details compatible with existing architecture vernacular.

Awnings and signs can help to emphasize doors and windows.

- **Cornices and Trim:** Cornices and trim add visual interest to an exterior façade. They are important in establishing a building’s individual character:
  - Cornices and trim shall not be removed.
  - If it is necessary to replace cornices and trim, the materials selected and details shall match what is being replaced.
  - Aluminum or vinyl siding use are not permitted unless there is precedent for such material usage on the original design of the existing structure.
- **Porches:** Porches and stoops add visual punctuation and rhythm to the regularity of street facades within neighborhoods. Because of their exposure to the elements, they often require extra maintenance and are subject to severe deterioration before the rest of the building:
  - Porches and additions shall be repaired in a manner that maintains the *original design*. When porches or additions are in disrepair, the replacement shall be only for those elements in disrepair. Such replacement shall be of the same material and visual characteristics. Demolition by neglect is not an acceptable form of replacement.

- If a new porch must be added to an existing structure, it must be constructed on the side or rear of main structure that is not visible from the public street.
- Porch alterations and additions shall complement the existing building by using matching materials, decorative details and construction techniques.
- If a major portion of the porch has deteriorated beyond repair and original design cannot be replicated, it is acceptable to simplify the design that conveys the same visual characteristics as the original porch. However, proportion and type of materials shall be maintained.
- Enclosing a porch on the front of the building is not permitted with the exception of the enclosure constructed primarily of translucent materials such as clear glass or screen. However, such enclosure shall maintain the existing porch structural details and materials. Recess added material behind the existing porch structure can assist in maintaining the open character of the porch.
- Enclosing porches to add livable space is allowed only at a side or rear of building. Such enclosures shall retain the details of the original porch. Columns, railings, and trim shall remain in place. Original porch elements shall be a prominent feature in the design of the enclosure. Trim that is original to the building shall not be concealed. The design of the enclosure shall be secondary to the original porch and placed behind the elements of the original porch.
- Construction of door hoods or entrance porches for commercial use building is encouraged. However, style, material and scale of such door hoods or entrance porches shall be compatible with existing structure.

**(7) Previous Porch Enclosure Techniques No Longer Permitted in the District.**



Vinyl sided front porch enclosure inhibits original building character



Front porch enclosure compromises the openness and character of the porch.



Sample front porch enclosure out-of-scale and rhythm with original structure

**(8) Suggested Materials and Techniques for Porch Enclosures.**



Screen enclosure with compatible decorative details helps maintain the character of porch.



Side porch enclosure with window mullion and trim matching the existing architecture vernacular.



Sample porch enclosure where window and door openings are in rhythm, proportion and style with remainder of structure.



Side enclosure with wooden screen.



Porch and porch details maintained in original architecture vernacular.



Solid panel enclosure distorts scale and proportion of the overall building.

- **Building Details:** The scale and design of any alterations and additions that might occur to such details as steps and stoops, porch columns, porch and balcony balustrades, railings and hand rails, and architectural lightings shall be compatible in size, proportion, and design with the original design of the building. In the case of absence of original design elements, it is recommended that nearby historic property styles and details be used as precedence.
- **Front Steps, Stoops and Railing Detail Additions:**

**(9) Inappropriately Matched Materials/Techniques for Steps, Stoops & Railings**



A variety of mismatched materials and styles is not permitted in the West End TND.



Rod iron railings at accessible ramp contrast with wooden balustrades of existing porch structure.



Contemporary styled and brightly painted iron work railings contrast with traditional masonry details.

(10) **Appropriately Matched Materials/Techniques for Steps, Stoops & Railings**



Sample front porch restoration work brought back the original design integrity envisioned for the West End TND.



Step railings and piers designed to be compatible with original architecture vernacular.



Porch railings and piers bases designed to be compatible with original architecture vernacular.

- **Stair Towers:** The construction of stair towers is allowed only at the sides or rear of buildings. The design and construction of stair towers shall be semi-enclosed with roof structure and compatible to the existing building in proportions, styles and materials. The slope, style and material of the stair tower roof shall be similar to the existing building's roof. Whenever possible, the stair tower shall be enclosed and designed in the way that it is climate controlled. Openings at all sides of stair towers shall also be designed compatible in proportions, styles and materials with existing building (see windows and doors section).

(11) **Inappropriate Materials/Techniques for Stair Towers and Fire Escapes**



Stair tower addition built extending beyond the side of the building compromises the front façade.



Stair structure built extruding to the front façade and block out the side façade and roof structure.



Stair tower addition constructed on existing porch compromises existing front and side elevation.

(12) **Appropriately Materials/Techniques for Stair Towers and Fire Escapes**



Stair towers, where they are visible from a main street, designed to be part of the main structure with compatible details.



Wood stair tower on a side of main structure avoided visibility from a main street.



Simple metal stair structure on the back of building painted to match architecture.

- **Roofs:** Although the functional requirements of a roof are important, roof design often contributes to the character of the building. The shape, size, color, pattern, and detailing of the roof are significant elements that help define the building's character and add interest to the streetscape:
  - Alterations and additions to the main structure's roof of existing building shall be kept minimal.
  - Roof alterations and additions, if necessary, shall be compatible in types, proportion, materials, and details with the *original design* of the building.
  - The use of dormers and/or chimneys is encouraged to scale down the presence of single roof form and add visual interest to the building. However, the design and material selection of dormers and chimneys shall match those of existing roof and shall be in proportion to overall scale of building (see also windows and doors section).
  - If additional gutters and downspouts are required, they shall be installed on walls that are not visually prominent from public streets. If they must be installed on main building walls, color painted of adjacent building material is recommended.
  - Flat roof is acceptable only for commercial use buildings and shall be kept at minimum. If flat roofs must be constructed, they shall be capped with cornice, brackets or other ornamental detail that match existing structure styles and details.

(13) **Inappropriate Materials/Techniques for Roof Additions**



Building extension with incompatible roof form compromises the original building character.



Building extension built with incompatible roofing material contrasting to the building



Alteration of roof structure alter the original gable roof compromise the building elevation and character

(14) **Appropriate Materials/Techniques for Roof Additions**



Building extension with compatible roofing material and finish maintains the overall building vernacular



Building extension with compatible roof form and material compliments and adds interest to the building elevations.



Additional gable hoods at entrance doors with designs and material compliment and add detail to the overall building.

- **Landscape and Details:** Fences, gates, posts, trellises, lightings, signs, address numbers and similar devices which enclose and/or abut historic structures shall be compatible with the existing structure's trims and finishes. Retaining walls, wherever necessary, shall be constructed with compatible material and style of existing and surrounding streetscape.
- **Maintenance:** Regular maintenance and repair of a building can preserve its architectural character and distinctiveness. It is recommended that maintenance practices of existing structures within West End TND District be tailored to the special needs of existing buildings and, whenever possible, conserve existing materials. When excessive cost necessitates substitution or reproduction of the original design and materials, it is acceptable to simplify such designs that reflect the same visual characteristics and maintain the scale, arrangement, and texture of the building as closely as possible.

**c. Architectural Framework for New Construction**

(1) **The architectural framework** shall build upon past and current characteristics of the indigenous architecture and development patterns found in the West End Neighborhood and Downtown State College. Outlined below is a quick reference list providing an overview of the detailed guidelines requirements for the West End TND District that are further described in this section:

- Building facades shall be varied and articulated for pedestrian visual interest.
- Building architecture shall be of traditional styling and proportion.
- Building materials shall be appropriate to scale and massing.
- Building materials shall be predominantly brick, stone, architectural stone pre-cast, cementitious siding, clay tile, stucco/EIFS or other architecturally indigenous materials.
- Building skin shall avoid exterior reflective materials and mirrored glass.
- Building massing and landscaping shall relate strongly to adjoining blocks/land bays.
- Roofscapes shall be delineated by gables, cupolas, steeples, and towers.
- Arcades, porches, balconies, bays, and awnings of proper scale are encouraged.
- Windows shall be vertically proportioned.
- Opening in gables shall be centered.
- All residential units shall have operable double hung windows.
- Roof articulation of mixed use, commercial and office structures: To avoid long expanses of unarticulated roofs, roofs shall be architecturally articulated at least every 20 linear feet. The articulation may consist of dormers, hip roofs, cupolas, gables, etc.
- Roof articulation of residential structures: To avoid long expanses of unarticulated roofs, roofs shall be architectural articulated at least every 20 linear feet. The articulation may consist of dormers, hip roofs, cupolas, gables, etc.
- Landscaped courtyards and/or lawns shall be located between building entrances and street edge.
- Garages, carports, and surface lots shall be placed at rear of buildings.
- Environmental sustainability principles shall be incorporated into building design.
- Exposed ends of unit and foundation walls shall be clad in brick or stone.
- Dormers, chimneys and any other items extending above the roofline shall be of the same color and materials used in the building's façade.
- Chimneys shall be clad in brick, stone, or architectural pre-cast concrete materials only.
- Planting and/or hedges appropriate to the urban environment shall be employed along frontages of all streets.
- Roof penetrations, such as vents, skylights and stacks, shall be placed on rear roof slopes.
- Parking garages shall be placed at the rear of buildings or underground.
- Night architecture and lighting to be coordinated among buildings.

- 75% of the residential units in the West End District shall have front porches.
- The primary building materials are wood, stucco, EIFS and masonry. Commercial buildings tend to have a masonry envelope along the ground floor with masonry, stucco or EIFS on the upper levels. Residential units are mainly masonry and wood frame structures with varying types of cladding (e.g., wood, vinyl, aluminum, stone or brick).
- The roofscapes are either flat with a parapet or pitched. Commercial buildings are usually identifiable by their parapets and residential units by their pitched roofs.
- The amount of glazing within commercial building envelopes ranges from 25% to 80%. First floor commercial facades consist of 50% or more glazing.
- With very few exceptions, the windows are mainly rectilinear. Windows in residential buildings are primarily double hung. This is also true of residential units above commercial uses. Windows along the first floor of commercial uses range in height from 3' to 6'.
- The primary entrances to buildings shall have awnings or roof-type overhangs.
- Entrances to residential units shall be articulated with a stoop, stairs and/or a covered porch.
- Traditional architectural elements, such as awnings, benches, pedestrian-scale street-lights, bollards and signage, shall be compatible and coordinated with the aesthetic experience.
- Building facades shall be varied and articulated for pedestrian and visual enhancement.
- Building architecture shall be of traditional styling and proportion.
- Reflective glazing and tinted glass is prohibited.
- Flush-mounted windows are not permitted.

#### **d. General Architecture Standards for New Construction**

(1) **Exterior Wall Building Materials.** The appearance of unified, harmonious building exteriors addressed within this section will portray the design excellence and building quality to be embodied throughout the West End TND District. The design guidelines for exterior walls focus on color, texture, and materials. If the building's façade is complicated with many design features, the wall texture shall be simple and subdued. If the façade design is simple, a finely textured material, such as patterned masonry, can greatly enrich the building's overall character.

The exterior building skin shall be composed of one dominant facing material and one or two additional materials as accents. Masonry shall be the preferred dominant material for all buildings, with the exception of commercial office or civic buildings that may be of pre-cast materials. Materials such as stone or glass are acceptable for certain applications as a dominant material subject to review by the Borough Planning Department. The dominant material shall comprise a minimum of 60% of any elevation. No building shall have more than three facing materials in addition to glass. Material selections shall be submitted to the Borough Planning Department along with plans and specifications. Sample building material panels shall be constructed for the Planning Department's site review purposes.

To fulfill these concepts as well as the functional and environmental quality of the project, the Borough intends to consistently apply the following design and development precepts throughout the redevelopment of the West End TND District.

- Façade walls shall reflect and complement the traditional materials and techniques of the West End neighborhood in order to establish uniformity within the West End TND District. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details.
- Building materials shall be appropriate to the scale and massing of any building (e.g., smaller masonry units on buildings four stories and lower and larger masonry units on buildings over four stories).
- The following materials are recommended as dominant building materials to complement the existing West End building stock and facades:
  - Masonry brick, natural stone or architectural pre-cast stone or concrete
  - Masonry split face or glazed concrete masonry unit block
  - Colored stucco masonry systems
  - Colored EIFS systems (on upper level facades only)
  - Steel or aluminum posts and railings
  - Natural hardwood clapboard siding, posts, railings
  - Cementitious clapboard siding
  - 100% recycled building products, e.g., metals, recycled lumber, plastics, etc.
  - Clear window glazing
- Where clearly visible from the streetscape, façade walls shall be designed with a minimum of 60 percent of primary materials. Brick and tile masonry, native stone (or synthetic equivalent) are preferred materials and founded commonly used within State College Borough Center. Bricks, blocks, and stone work must be detailed and in an appropriate load-bearing configurations.
- Stucco or cementitious finish are permitted as secondary materials but shall not be greater than 25 percent of façade wall.
- The following materials are recommended for use as accent building materials used for trim and cornice elements, beams, lintels, piers, foundation walls, chimneys, and ornamentation, and shall not be used more than 15 percent of any one façade on the building:
  - Gypsum Reinforced Fiber Concrete (GFRC).
  - Stainless, Galvanized, or Corrugated Steel.
  - Sheet Aluminum.
  - Architectural Glass Block
- The following materials are not permitted as dominant building materials because they do not complement the existing West End District building stock and facades:
  - Aluminum siding (only permitted in single-family detached and attached areas on garages and on rear and side yard facades not facing a street)
  - Vinyl siding (only permitted in single-family detached and attached areas on garages and on rear and side yard facades not facing a street)

- Glass curtain walls or reflective/mirrored glazing in general
  - Concrete Masonry Units (CMU): Unfinished and painted CMUs are not permitted as the finished exterior surface of a building, wall or fence; however, decorative CMUs (e.g., split face, glazed, etc.) may be used if approved by the Planning Commission
  - Unfinished pressure treated wood products
  - Pure white paint: Pure white paint may be used only as an accent color (i.e., trim)
- Exposed ends of unit and foundation walls shall be clad in brick, natural stone or stucco material.
  - Chimneys shall be brick, natural stone, or architectural pre-cast concrete.
  - Dormers, chimneys and any other items extending above the roofline shall be of the same color and materials used in the building's façade.

(2) **Façade Color.** For the purpose of these general West End TND guidelines specific color choices will not be regulated; however, the use of color on a building façade is very important to the overall composition of a building and streetscape environment. Done properly, painting can be one of the simplest and most dramatic improvements one can make to a façade. It gives the façade a well-maintained appearance and is essential to the long life of many traditional materials.

The current color pallet of painted commercial and residential buildings consists of brick red, gray, green, brown and cream with many buildings in the cool and warm gray tones. There is no existing unifying theme for color in the West End TND District for new development to follow. For this reason the following limited color standards shall be adhered to in the West End TND District:

- One dominant color comprising over 50 percent of the building elevation and two (2) accent colors are recommended.
- Black and bright primary colors are not recommended in any material for the dominant material as they provide too high a contrast to the current finishes and are nonexistent in the current color pallet. Using these colors would create unintended focal points that in turn will cause confusion and detract from the aesthetic experience.
- Glass – No reflective, mirrored, bronze, and/or gold glass. These glass types are nonexistent.

The color of all proposed materials shall be indicated on each plan submission for review and approval. Buildings within each parcel shall have compatible, coordinated color schemes. Sample photos of façade color schemes found in the West End TND District and or the nearby Borough Center are provided below as suggestions to be followed when preparing color selections for the Borough Planning Department's review.

**(3) Commercial/Mixed Use Building Materials and Color Palettes Typical to the West End TND District and Borough Center.**



College Avenue architecture in the Borough Center is composed of a variety of brick, stone, pre-cast and parged façade materials that work together to make every building unique. This character shall be maintained on independent structures in the West End.

**(4) Residential Building Materials & Color Palettes Typical to the West End District**



Like the commercial structures above, residential buildings in and around the West End District have a variety of brick and stone façade treatments with the addition of wood shingle and clapboard siding as well. Trim elements are also made of wood.

**(5) Residential Building Materials & Color Palettes Appropriate to the West End**



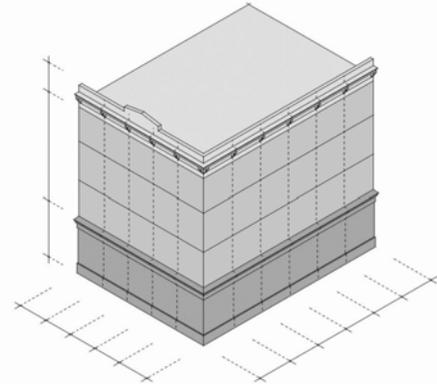
These are good examples of new infill buildings which have been designed in either a traditional or contemporary style with the same palette of façade materials that are found in the Borough Center and West End District photos illustrated above.

(6) **Façade Wall Articulation / Fenestration.** Reinforcing the architectural design fundamentals, wall articulation should promote the aesthetic experience, not detract from the experience. The examples below illustrate how to articulate solid blank walls that front onto public streets/spaces.

Long, blank, unarticulated street wall facades exceeding twenty percent (20%) of building façade are prohibited. Façades shall instead be divided into a series of structural bays (i.e., masonry piers that frame window and door elements). This subdivision of the wall plane establishes a rhythm.

Monolithic street wall facades should be "broken" by vertical and horizontal articulation (i.e., sculpted, carved or penetrated wall surfaces defined by recesses and reveals). These features are characterized by: 1) breaks (reveals, recesses) in the surface of the wall itself; 2) placement of window and door openings; or 3) the placement of balconies, awnings, and/or canopies.

Large, unbroken facade surfaces should be avoided, especially along College Avenue. This can be achieved in a number of ways including: 1) dividing the facade into a series of display windows with smaller panes of glass; 2) constructing the facade with small human-scale materials such as brick or decorative tile along bulkheads; 3) providing traditional recessed entries; 4) careful sizing, placement and overall design of signage; and 5) providing consistent door and window reveals.



Façade walls should be designed to break down into organized and resolved component pieces.

Where appropriate, the design of buildings shall provide a transition from the upper floors to the pedestrian level by the use of materials, building articulation, and level of detailing. When seen from the boulevards and streets, a transition zone shall add interest at the vehicular and pedestrian scale, thereby reinforcing the urban street quality of the street and system.

(7) **Appropriate Materials/Techniques for Façade wall Articulation/Fenestration**



Example of change of building material and window types as a transition.



Example of ground floor façade transition indicating residential over retail use.

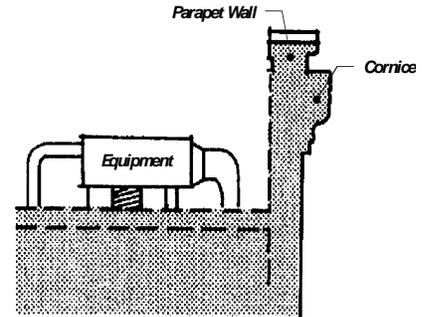


Example of ground floor façade transition emphasizing base of building.

(8) **Shutters.** The use of shutters is restricted to residential uses. Any shutters that are applied shall be wood or metal, operable, and fit the opening to which they are adjacent. Example: a four-foot wide window shall not have two one-foot shutters; they shall both be two-foot wide. The use of both shutters and awnings for the same window is prohibited.

(9) **Rear Elevations.** Where parking is located behind new buildings, rear entrances become important secondary entrances. They should be designed to create an inviting appearance and identity which is recognizably related to the front façade. Trash containers, service and storage areas should be well screened and maintained. Open glazing on windows, an attractive entrance door, a business or building sign and attractive lighting shall be added to give the rear façade customer and/or resident appeal. Awnings, display windows and plant materials should also be used to enhance rear façade elevations.

(10) **Roof Treatments.** Roof shape (e.g., hip, gable, flat) should demonstrate common-sense recognition of the surrounding architecture, desired architectural style of the building, type of use, and climate. By utilizing appropriate pitch, drainage, materials, and details, building roofs can determine the character of the building at the same time provide visual coherence to the West End neighborhood.



Roof Mounted Building Equipment Screening Diagram

(11) **Roof Treatments Typical to the West End TND District.**



Gable Roofs

Hip Roofs

Mansard Roofs

**(11) Roof Treatments Typical to the West End TND District cont'd.**



Cottage Roofs

Barn Roofs

Flat Roofs

**(12) Combinations of Roof Treatments Typical to the West End TND District.**



Variations in roof treatment

Typical dormers and dormer windows treatments in the West End TND district

- Roofs may be flat or sloped. The visible portion of sloped roofs should be sheathed with a roofing material complementary to the architectural style of the building and other surrounding buildings.
- Cornice lines of new buildings (the horizontal rhythm element) shall complement buildings on surrounding properties to maintain continuity.
- Roof pitches that create overly prominent or out-of-character buildings (e.g., A-frames, geodesic domes, or chalet style buildings) are not permitted. Shallow gables or fenestrated parapets are permissible provided they are in character with surrounding buildings.
- In the case of high-rise structures and churches, some roof treatments such as a gable or spire are encouraged to add variety to the Borough's skyline.
- A minimum roof pitch of 1:1 is required, except on multi-family/medium-density buildings, which may have flat roofs. Clay tile, synthetic slates, or heavy-weight composition shingles are recommended materials. Standing seam metal roofs are permitted if appropriate to the architectural design. Vent pipes should be placed away from the street side with the color match those of the roof or building element to which they are attached.

(13) **Rooftop Utilities.** Mechanical equipment and roof color shall be compatible and integrated with the building, design. Visible roof mounted equipment is prohibited. If necessary, the equipment shall be masked behind discreet screening materials. All roof-mounted mechanical equipment shall be screened and painted to blend the approved roofing color. Equipment shall be arranged in an orderly, clustered manner, grouped behind one parapet screen. At a minimum, a single continuous parapet wall without louvers or penetrations shall screen, or hide entirely, all roof mechanical equipment from ground views. Antennae, disks, solar panels, etc., if required by building occupants, shall be grouped in an orderly manner behind the mechanical screen referenced above unless specifically approved by the Planning Commission.

(14) **Balconies and Roof Terraces.** Balconies are permitted within the West End TND District. The Borough Planning Commission shall have the authority to review on a case-by-case basis.



Balconies can serve to help fenestrate the façade and encourage additional streetlife.

Balconies shall be adequately sized for use, but not be used for outdoor storage.

Sample residential balconies over retail add interest to building façade and streetlife.

(15) **Dormers.** Dormers are appropriate to residential uses only. The design of dormers' roofs and windows should have forms and details that match proportionately with the main structure roof.

(16) **Chimney Placement.** Chimneys are permitted for commercial and residential structures. If a chimney is needed or desired, the placement shall conform to local architectural precedents. Chimneys shall be placed according to the symmetrical balance of the overall form. If the structure is symmetrical, then the chimneys shall also be placed symmetrically. If the overall form is irregular, then the chimneys shall be placed where a balance with the overall massing of the structure will be achieved.

(17) **Gutters and Downspouts.** Gutters can be a metal ogee, half-round, or integral to the eave or cornice. Round or square downspouts shall be used and held to the corners for a side gable, or placed around the corner for hipped roofs. Intermediate downspouts shall be tucked into an inside corner to minimize the impact on the design. If there is no inside corner, a downspout shall be placed at a logical division between two building segments.

(18) **Skylights.** Skylights may be used as long as they are not visible from the street level, pedestrian way, or public right-of-way along any existing or proposed public or private street in the West End TND District.

**e. Commercial/Mixed Use and Higher-Density Architectural Guidelines.**

(1) **Intent.** This set of guidelines applies to the construction of commercial/mixed use and high-density development properties. High-density development includes mixed-use and multi-family residential along West Campus Drive and North Spark Street as well as potential multi-lots development along the south side of West Campus Drive. They supplement the guidelines presented in the previous sections by addressing issues specifically related to this building type.

(2) **The Storefront.** The treatment of storefronts is critical to the overall integrity of the West End District's character. A storefront does not necessarily imply that a building has a retail commercial use; storefronts are simply the first floor facade of a building that faces the street and connects with the sidewalk.

The storefront traditionally has experienced the greatest amount of change during a building's life and holds the most potential for creative alterations affecting the character of the building and the streetscape. The storefront's original design is the best guideline for any refurbishment or alteration.

Traditional storefront buildings can be small, individual, or mid-block structures that accommodate a single business or large buildings designed to provide space for two or more businesses separated by masonry columns or piers forming distinct storefront structural bays. This building type is designed to be perceived as a whole unit, with the visual emphasis consistently placed on the storefront area and its display windows, versus the upper story facade characterized by vertical windows, parapets, or cornices.

**(3) Commercial/Mixed-use Storefronts Typical to the Borough Center & West End**



Typical commercial storefront in State College's Borough Center.



Commercial storefronts in State College's Borough Center.



Typical commercial storefront in the West End District.

**(3) New Commercial/Mixed-use Storefronts Appropriate to the West End District**



Typical infill commercial/mixed-use building and storefront envisioned for College Ave. and N. Sparks Street.



Well-designed and animated storefronts will be an integral part of the West End District's success.



The ground-level storefront portion of a building shall be designed in context with the street environment.

**(4) Entries and Doorways.** The main entry to a building, leading to a lobby, stair or central corridor shall be emphasized at the street level to announce a point of arrival in one or more of the following ways:

- Flanked columns, decorative fixtures or other details
  - Recessed within a larger arched or cased decorative opening
  - Covered by means of a portico (formal porch) projecting from or set into the building face (refer to zoning guidelines for allowable projections)
  - Punctuated by means of a change in roofline, a tower, or a break in the surface of the subject wall
- Whenever possible, style and location of new doors shall be similar to doors of adjacent buildings. The height-to-width ratio of door openings shall be within ten percent (10%) of the average of adjacent existing building's door openings.
  - Buildings situated at the corner of a public street shall provide a prominent corner entrance to street level shops or lobby space, in a manner consistent with Main Street entries, as described above.

- Commercial storefront entries are typically recessed and/or sheltered by a covered arcade structure, canopy or awning. This provides more area for display space, a sheltered transition area to the interior of the store and emphasizes the entrance. Recessed entries shall be retained and are strongly encouraged in new storefront construction, although overly deep entries (over 5 feet) shall be avoided for pedestrian safety/security and surveillance.

(5) **New Entry and Doorway Treatments Appropriate to the West End District**



Traditional storefront entry design within modern-day building techniques.

Recessed storefronts create stronger visual interest along the streetfront.

Contemporary entryway designs which would be appropriate for West End infill..

(5) **Windows**. Window treatments are a key way to differentiate between the street level storefront and upper stories. Usually there is a much greater window area (60 percent) at the storefront level for view of the displayed merchandise while upper stories have smaller window openings (30 percent). The large window area at ground level also creates a more inviting and diverse streetscape with highlights at each storefront.

- When an infill building is proposed between two adjacent commercial structures, the characteristic rhythm, proportion and spacing of existing door and window openings shall be maintained. Window elements such as frames, sashes, panes, sills, muntins, etc., shall be repeated in new window construction. Window locations shall be uniform along a building's façade and shall be in alignment with an adjacent building's windows.

(6) **New Window Treatments Appropriate to the West End District**



Lower storefront windows should be larger than upper residential windows.



A hierarchy of windows and doors at both the lower & upper level is required.

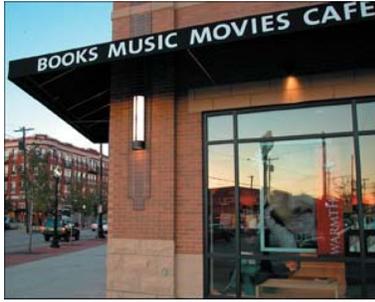


Traditional mixed-use building with large storefront windows and smaller residential windows.

(7) **Door and Window Design.** The detailing of doors and windows can also contribute to the aesthetic experience. The proper accents on these features can further enhance the focal point demarcating the entry:

- Doors can be accentuated with simple details such as a handsome brass door pull, brass kick plate, or an attractive painted sign.
- Doors to retail shops shall contain a high percentage of glass in order to view the retail contents.
- Infill structure's windows shall be designed sympathetically to and compatible with the facade theme of the entire block face.
- Use of clear glass (at least 80 percent light transmission) on the first floor is recommended.
- Storefront windows shall be as large as possible and no closer than 18 inches from the ground (bulkhead height). This height is used to prevent someone from accidentally kicking a window by elevating the sills. By limiting the bulkhead height, the visibility to the storefront displays and retail interior is maximized. Maximum bulkhead heights for new construction shall be 36 inches.
- Doors and windows shall not span vertically more than one story and shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
- Permanent, fixed security grates or grilles in front of windows are discouraged. If security grilles are necessary, they shall be placed inside the building behind the window display area. Security glass is the recommended alternative to grates or grills.

(8) **New Door and Window Treatments Appropriate to the West End District**



Clear glass window panel with simple window pane and decorative awnings maximizes interior visibility.



Use of clear glass in window design allows for higher ground floor visibility.



Simple geometry window and door panes complement architectural column and cornice details

(9) **Awnings and Canopies.** Awnings and canopies provide the opportunity to add color and visual relief to buildings, as well as protecting windows from intense direct sunlight. The following guidelines describe the elements of awnings and canopies that will enhance the aesthetic experience of the West End TND District.

- Awnings, if used, shall be of a durable, commercial grade fabric, canvas or similar material having a matte finish.
- Bright and/or contrasting colors shall be avoided. The awning colors should complement the building they are intended to serve and the proposed street furnishings
- Awnings shall have a single color or two-color stripes.
- When there are several businesses in one building, awnings of a compatible color shall be used with simple signs on the valance flap that may vary in type style and color to differentiate the individual businesses within the building.
- Where the facade is divided into distinct structural bays (sections defined by vertical architectural elements, such as masonry piers), awnings shall be placed within the vertical elements rather than overlapping them. The awning design should respond to the scale, proportion and rhythm created by these structural bay elements and "nestle" into the space created by the structural bay.
- Awning frames and supports shall be of painted or coated metal or other non-corroding material.
- Glossy or shiny plastic or similar awning material is not recommended.
- Aluminum, metal, or canvas awnings are permitted in the West End District.
- Awning shape shall relate to the window or door opening. Barrel-shaped awnings shall be used to complement arched windows while square awnings shall be used on rectangular windows.
- Awnings should be well-maintained, washed regularly and replaced when faded or torn.

(10) **New Awning Treatments Appropriate to the West End District.**



Awnings help to provide rhythm and activity at street level.



Awnings may be of fabric or metal design.



Contemporary awning designed for visual interest.

- Covered sidewalks or colonnades are encouraged, but not required. Where provided, covered sidewalks and colonnades design shall maintain continuous public easement, a minimum of four (4) feet wide, cleared of covered structure and paralleled to the edge of covered sidewalk. Covered sidewalks shall have appropriate interior clear height and width between the façade and the support post or column of covered structure.

(11) **Grillwork Metalwork and Other Details.** There are a number of details to add visual richness and interest while meeting functional needs. Such details include:

- Light fixtures, wall-mounted or hung with decorative metal brackets
- Metal grillwork at vent openings or as decorative features at windows, doorways or gates
- Decorative scuppers, catches and down-spouts, preferably of copper or dark finished metal
- Balconies, rails, finials, corbels, plaques, etc.
- Flag or banner pole brackets
- Fire sprinkler stand pipe enclosures and hose bib covers, preferably of brass
- Security devices

These details shall be reviewed and approved by the Planning Department.

(12) **Metalwork Treatments Appropriate to the West End District.**



Decorative metal arcades and balconies.



Metal railings can form a sidewalk café' enclosure.



Or a residential garden enclosure.

(13) **The Upper Façade.** The upper façade of a building is distinct from the street-level storefront, and the design qualities differ. The upper façade consists of the following components:

- The cornice and fascia that cap the building front
- The building's upper stories
- The windows, which provide articulation and interest to the upper architecture
- The piers, which extend to the ground level to visually support the façade and frame the storefront
- The roof tops and roof top utilities

The more massive, solid architecture of the upper façade gives the building its feeling of substance and expresses its architectural quality and character. As a result, the design treatment, materials and conditions of the upper façade play an important role in defining the architectural style of the building and in relating it to neighboring buildings in the block face.

Where appropriate, the design of buildings shall provide a transition from the pedestrian level/storefront to the upper floors by the use of materials, building articulation, color and level of detailing. When seen from the streets, a transition zone shall add interest at the vehicular and pedestrian scale, thereby reinforcing the aesthetic experience and providing diversity and focal points. The following paragraphs provide general guidance for the development and/or renovations of the upper facades of buildings in the West End TND District.

(14) **Piers.** Piers can frame the storefront and visually anchor the upper façade and play an essential role in creating the unified architectural framework that organizes the street level's visual diversity. Where piers have been eliminated or reduced, the architectural definition of the facade will be unclear and the upper architecture inadequately balanced. The pier's width and spacing should give support to the façade. Piers that segment the storefront are recommended on wide buildings to improve proportional balance. To emphasize the pier's integral role in defining the architectural character of the upper façade, piers shall be treated with the same or a complimentary surface material to the facade.

(15) **Cornice and Fascia.** A cornice or fascia creates a strong roofline, gives a finished appearance to the building façade and provides for a transition from the building to the building's backdrop. The cornice or fascia shall be designed in proportion with the overall mass of the building.

(16) **Windows.** Upper story windows can create a sense of scale and add visual interest to the upper facade. The proportions of the windows, alignments and the rhythm of the window pattern shall replicate the facade design of the immediate surrounding architectures as closely as possible.

**(17) Pier, Cornice, Fascia & Window Treatments Appropriate to the West End**



Consistency in window rhythm and scale can create visual harmony among individual structures.



Dormers and eaves can be designed to align with an adjacent building's opening and create uniform facade.



Change of window type and size can be designed to help break the building mass and animate streetlife.

**(18) The Roofs and Roof Top Utilities.** Flat roofs and parapets are found appropriate for commercial use. The application of flat roofs shall be in combination with cornice and coping and shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical and utility equipments from pedestrian and street level as well as adjacent buildings view corridor.

Pitched roofs, if done correctly, can enhance the skyline of the surrounding area and help minimize the scale of the structure. When applied, roof top mechanical and utility equipments space shall be provided and designed with appropriate screening. Pitched roofs shall be symmetrically sloped no less than 1:1. Shed roofs attached to the main structure or parapet top shall be pitched no less than 1:1.

**(17) Roof and Parapet Treatments Appropriate to the West End District**



Appropriate parapet height conceals roof top equipment from pedestrian visibility.



Flat roofs with traditional parapet cornices and trims enhance the district skyline.



A pitch roof structure with dormer designed proportionately to main structure adjacent building.

Roof materials and colors should be selected based upon their appearance and durability, especially when such materials would be visible from the public way and/or an adjacent building.

**f. Residential Design Guidelines**

(1) **Intent.** This set of guidelines applies to the construction of residential properties. They supplement the guidelines presented in the previous sections by addressing issues specifically related to this building type. Residential structures include single-family houses, townhomes, apartment buildings, and duplexes as well as secondary structures such as garages, carriage houses, and sheds.

In residential neighborhoods like the West End it is important to complement the architectural elements of individual structures as well as the common elements of setbacks, rooflines, height, porch proportions, site features, and spacing between structures.

Compatibility with adjacent neighborhood structures and the general neighborhood character is a requirement. But no specific architectural style or period is required when considering new and infill housing projects. The key design elements are massing, proportion, detailing, materials, and colors as required earlier in this section.

The vision for the architecture and urban design components for the residential portions of the West End TND District shall embody the following:

- All residential units shall have operable double-hung windows.
- Roof articulation of residential structures: To avoid long expanses of unarticulated roofs, roofs shall be architectural articulated at least every 20 linear feet. This is based in the current roofscape within the West End TND District. The articulation may consist of dormers, hip roofs, cupolas, and gables.
- Garages, carports, and surface lots shall be placed at rear of buildings.
- Seventy-five percent (75%) of the residential units in West End TND District shall have front porches.
- Landscaped courtyards and/or lawns shall be located between building entrances and street edge.
- Exposed ends of unit and foundation walls shall be clad in brick or stone.
- Dormers, chimneys and any other items extending above the roofline shall be of the same color and materials used in the building's façade.
- Chimneys shall be brick, stone, or pre-cast.
- Roof penetrations, such as vents and stacks, shall be placed on rear roof slopes.

To fulfill these concepts as well as the functional and environmental quality of the project, the Borough Planning Department intends to consistently apply the following design and development precepts throughout the life of the West End TND District.

(2) **Ancillary Structures.** Garages, storage buildings, decks, greenhouses, gazebos, trellises, and other miscellaneous outbuilding structures, whether attached to the main residential structure or detached, must be compatible in design, color and material with the residence. Pre-fabricated metal outbuildings are not permitted. All ancillary structures must be approved by the Borough Planning Department prior to construction.

(3) **Garages.** Residential garages shall be incorporated into the first floor of the structure or a free-standing structure maximum of 650 square feet in the rear of the property. The entrance to the garage shall be from a secondary street or alley. The garage doors shall accommodate one or two automobiles and be constructed of wood or aluminum-clad wood.

(4) **Stoops, Door Hoods and Porches.** Stoop, door hood or front porch structures are encouraged to animate the streetscape. A stoop built forward of the main structure setback is allowed but shall not be more than five (5) feet of the main structure setback. A front porch shall be built forward of

the minimum main structure setback and be between six (6) and ten (10) feet deep. The preferred width of a porch structure shall not be less than 50 percent of the building front facade.

**(5) Stoops, Door Hoods and Porches Typical to the West End TND District.**



Door hoods over the entrance door add detail and interest to the entrance and overall building.

Brick and stone stoops and steps should be used compatibly with main structure material.

Single-story porch extended the full length of front façade is commonly found in the West End District

**(6) Chimneys.** If metal flues for heating or fireplaces are used, they shall be encased in appropriate housings. Where metal is exposed at the chimney cap, it shall blend in color with the chimney housing or roofing.

**(7) Foundations.** Exposed foundations are shall be kept to a minimum and shall be appropriate to the architecture of the building. Concrete block or poured concrete foundations shall be parged and painted to match the siding. If site conditions call for large areas of exposed foundation, the Borough may require that the foundation be clad in permitted masonry materials or an extension of the building's faced siding.



Foundation with English Basement and half-circle window details add interest to the overall building.

Wood screen matched with building detail helps screen and decorate the foundation of the building.

Foundation plants are added to soften the edge and blend screen panel with surrounded landscape.

(8) **Exterior Materials Colors.** There is no predetermined palette of materials and colors for residential stock as a whole, but coordination/limitation of materials and colors within residential neighborhoods and multi-family complexes is encouraged. Proposed materials and color schemes will be reviewed by the Borough Planning Department. Materials that are of poor durability (e.g., plywood-based siding, metal siding, unfinished concrete block, etc.) will be rejected. Muted colors are preferred for the background color of most buildings. The use of one or two complementary accent colors for special features and trims such as ornamental details, windows sashes, and entrances is strongly recommended. Retaining the intrinsic color of unpainted surfaces, such as brick or stone masonry walls is required; however, concrete block foundations must be clad in brick, stone, architectural pre-cast concrete or pigmented stucco materials

(9) **Fenestration.** Blank lengths of wall exceeding 20 linear feet are prohibited on all residential structures. Fenestration on all structure façade shall comprise at least 30 percent, but no more than 70 percent, of the façade area per story (measured as a percentage of the façade between floor levels). The style of fenestration elements, whenever possible, should be compatible with the adjacent existing structures.

(10) **Fences/Garden Walls.** A fence, garden wall or retaining wall, 20 to 40 inches in height, is permitted along the front and the common lot lines of the dooryard. A privacy fence, 6 to 9 feet in height, shall be placed along any un-built rear lot lines and common lot lines. Fence and wall material and design shall match the vernacular of the main structure and those of adjacent existing structure.



Newly proposed fences and garden walls and entry stairs shall match the existing vernacular of similar structures within West End District.

#### **g. Building Code Issues**

- (1) **ADA Access.** All structures except for residential dwellings shall be accessible in accord with the American’s with Disabilities Act. No mechanical lifts or exterior ramp systems greater than 15 feet in length shall be allowed within any street.

#### **h. Green Building Principles and LEED Certification Building Incentives**

(1) **Intent.** New development in the West End TND District should help to set a new precedent in State College Borough, whereby new developments are encouraged to build “smarter and greener” for the long-term sustainability of the development, the neighborhood and the City. Going “Green” with building design has proven to be a real estate marketing advantage in many cities across the United States. The US Green Building Council’s Leadership in Energy and Environmental Design (LEED) certification process has been shown to add value to a number of documented projects throughout the United States. On a case-by-case basis, developments within the West End TND may

achieve density bonuses at the discretion of the Borough if the buildings achieve a “LEED-NC Silver” rating or better. For example, a multi-story, mixed-use development in the “Northern-tier” would normally be limited to four stories in height; however, with a LEED Silver certified building and neighboring green roof parking structure, an incentive bonus of one additional story could be granted. No bonuses, however, will be granted for the lowest level of LEED certification. Illustrated below is a shortlist of the exterior architectural design and site design elements that can be incorporated into an environmentally friendly development.

**(2) LEED Design Technique Examples:**



Density/Height bonuses may be permitted by the Borough with the successful incorporation of green roof design on roof terraces and parking structures.



Multi-level green roof terraces can be included with parking structures, residential & office uses.



Green roofscapes can be incorporated on parking structures as park spaces for surrounding building tenants.



Turf-based green roof design with skylights to allow natural light to lower levels.



Plaza with skylights to allow natural light into lower building levels.



Sun shades can also serve to bounce natural light into the large open spaces within the building.



Cantilevered sun shades on windows to take advantage of natural lighting while regulating passive solar heating.



Perimeter rain gardens capture building stormwater run-off and re-use for natural irrigation.



Rain gardens used to capture roof gutter run-off and increased on-site water absorption.



Bio-swale use in parking lots to filter pollutants from stormwater prior to entering storm sewer system.



Green street techniques to filter stormwater before entering storm sewer system.

## **Section 2625. Transportation and Design Elements.**

### **a. Major Transportation Systems and the Street Network**

(1) **Intent.** The new development aims to create a pedestrian-friendly environment favoring traditional design principles in which residents, the work force, and visitors have equal access to amenities, goods, and services. This set of guidelines will optimize pedestrian and motorist comfort by minimizing their stress and aversion experiences. This will be achieved by coordinating the design of major pedestrian elements such as sidewalks, crosswalks, covered walkways, through building and garage connections, trails/pathways, and creating an identity for each.

(2) The planned vehicular circulation system for the West End TND District considers both public and private transportation systems to support the coordinated development of individual parcels employing both. There are four specific aspects of circulation and streetscape improvements within the West End TND District:

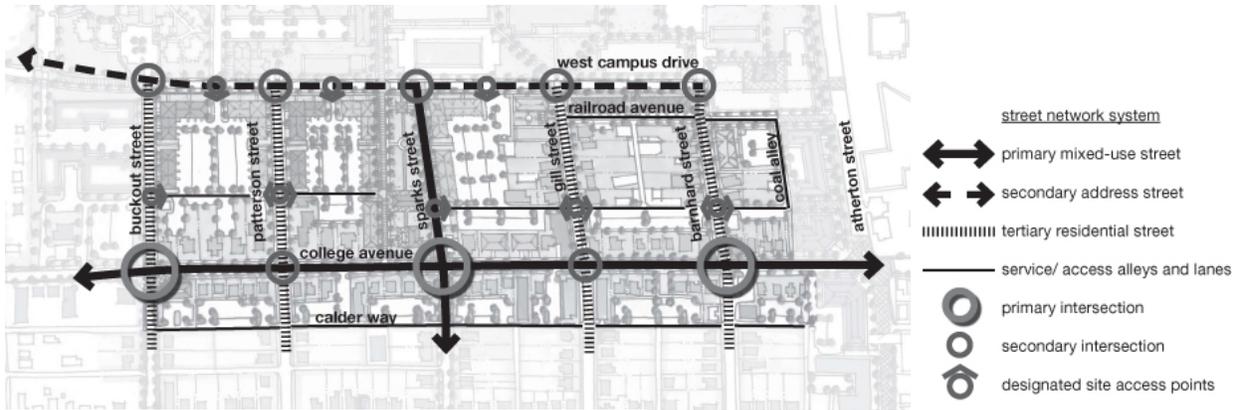
- College Avenue - State Roadway
- Existing Public Streets and Alleys
- Street & Hardscape Furnishings
- Public Transportation Facilities

All transportation and design element improvements should comply with the Borough's Subdivision and Land Development requirements, Chapter XIX, Part J.

(3) **College Avenue.** College Avenue is a primary access and travel road connecting the PSU campus with the downtown. It is dedicated for public use and designed to ensure capacity for adequate circulation among the range of planned land uses.

There are a number of perpendicular connecting streets along the corridor that provide access to the existing and proposed developments. These access points are the gateways that announce arrival to each individual site development. The primary access streets and the internal roadways are the major elements of all proposed and existing developments.

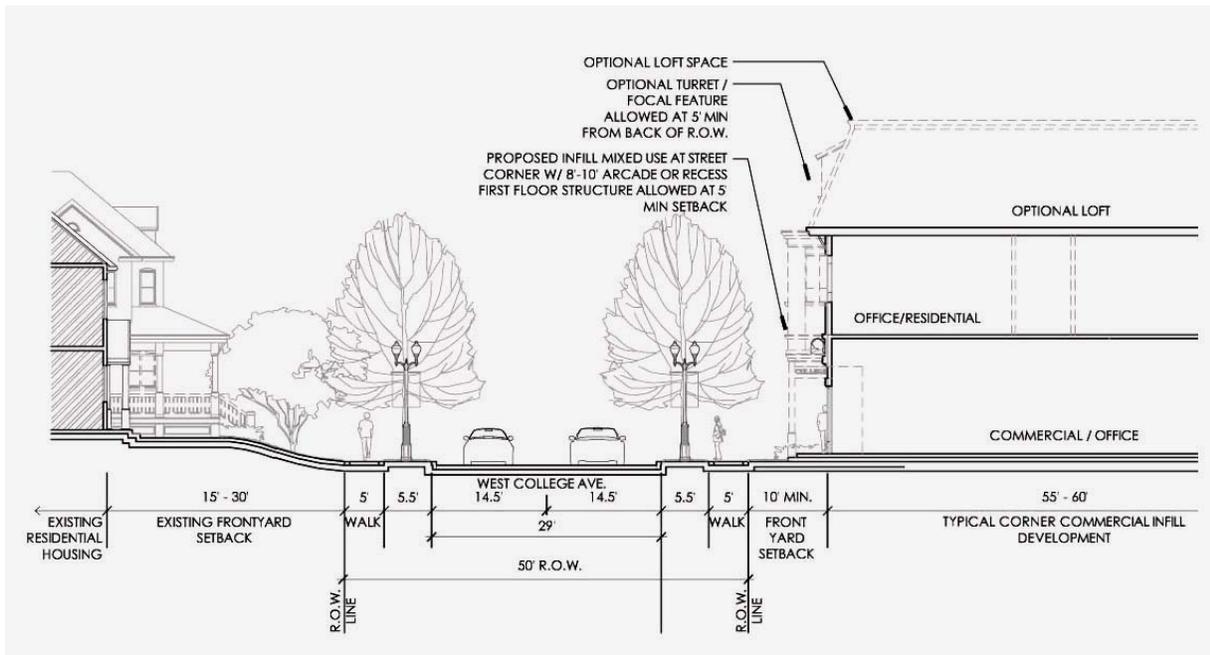
(4) **Street Guidelines.** The West End TND District street guidelines are divided into four sections: Primary Mixed-use Streets, Secondary Address Streets, Tertiary Residential Streets, and Service Streets and Alleys. The design guidelines and typical street cross sections for these street types are on the pages which follow. The diagrams below demonstrate street hierarchy, circulation patterns, key intersections and access points in each zone's anticipated development.



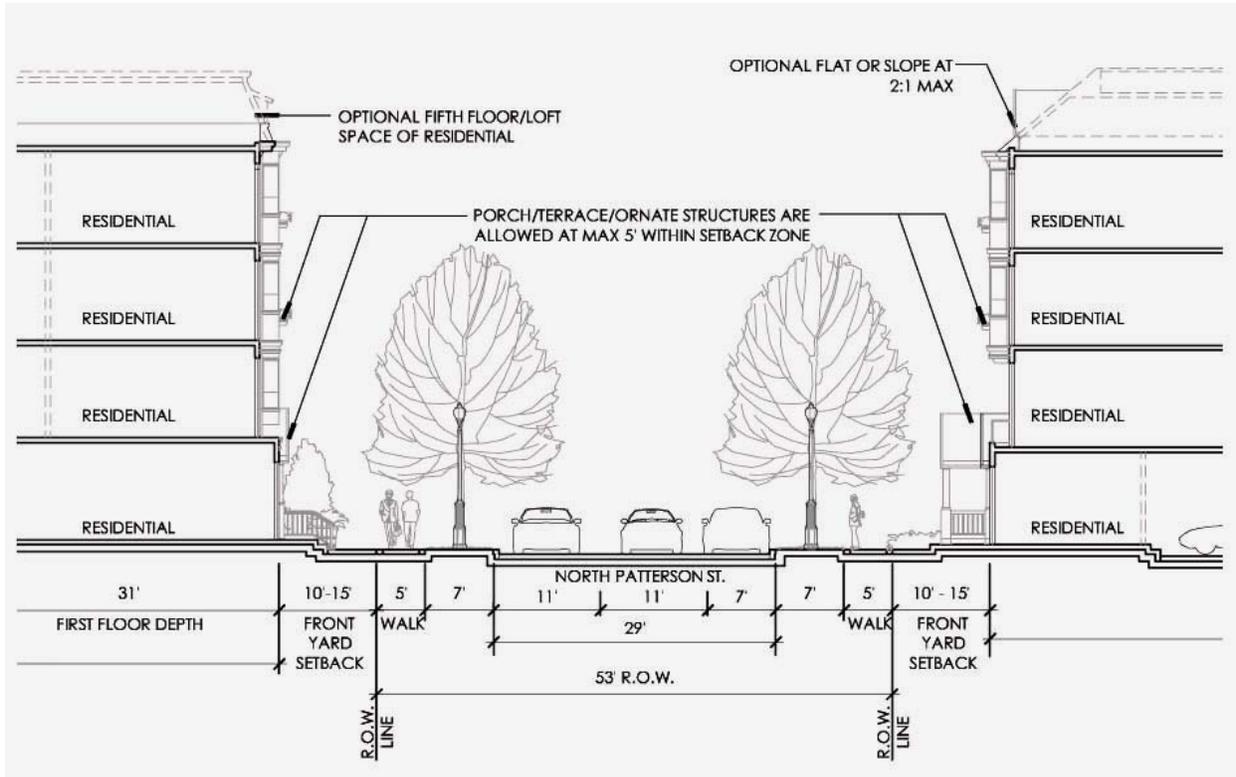
West End TND District Circulation Diagram

(5) **Primary Mixed-Use Streets.** The following existing public streets in the West End TND District have been designated as **Primary Mixed-use Streets** for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

- West College Avenue
- North Sparks Street



Typical Infill Mixed-Use Streetscape along West College Avenue



Typical Infill Residential Streetscape along North Sparks Street.

Recommended principle qualities of College Avenue and North Sparks Street include the following items:

- **Movement:** Free, signalized, two-way pattern.
- **Lanes:** 2 Lanes at 14.5 foot lane width measured from back of curb. Additional turn lane locations and configuration, if required, shall be approved by the Borough.
- **Right of Way:** 50 feet (varies by existing conditions).
- **Building Line:** 10 to 15 foot from back of right-of-way. Awnings, shutters, flower beds, and/or raised open terraces shall be allowed within the set back distance with Borough approval.
- **Sidewalks:** Minimum width of 5 feet on both sides of the street.
- **Drainage:** Curb inlets, underground conveyance.
- **Curbs:** Raised, with gutter pan.
- **Curb Returns:** 15 to 25 foot radius per intersectional requirements. The radius will be adequate to accommodate an “SU-20” design vehicle.
- **Street locations and geometry** shall be in accord with final site plans.
- **Planting Zone:** 5 to 8 foot wide planting zone between back of curb and sidewalk or tree pits (minimum size 4 feet x 8 feet) along both sides of the street. All planting zones shall be incorporated into the paving design. The Zones shall be continuous and will include trees and ground covers (subject to specific use). Planting inside the public right-of-way will be subject to the Borough review and

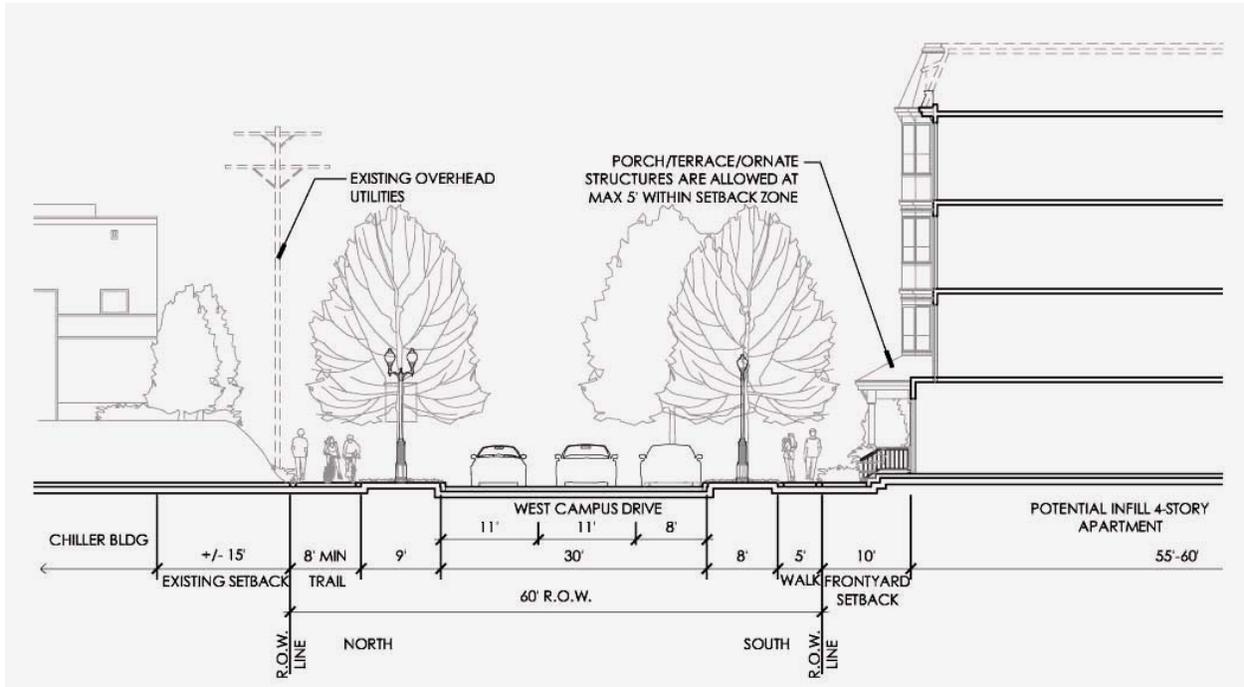
approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, other fixed objects and streetscape elements will be located entirely outside of the public right-of-way (see Section 10 for planting requirements). An additional planting zone (Planting Buffer) of 6 feet minimum outside public right-of-way is required along the sidewalk for development with surface parking at the street front, and will be subject to the Borough review and approval at the time of site plan submission (existing development subject to Planting Buffer requirement is to be in compliance within 2 years.)

- **Tree Planting:** Planting of trees will not conflict with utilities or will the planting of trees affect sight distance requirements.
- **Bikeway:** Either a striped bikeway as part of roadway paving along both sides of West Campus Drive or a separate area. Minimum width of bikeway shall be three (3) feet within public right-of-way.
- **Bikeway trails:** may be installed in lieu of sidewalks, but sidewalks will not be substituted for bikeways.
- **Street Lighting:** Pedestrian scale with a pole height of 12 to 14 feet above grade with cut-off reflector luminaries and served by underground utilities.
- **Street Elements:** Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the Borough.
- **Bus Pull Out:** Bus pullouts may be substituted for on-street parking at select locations.

(6) **Secondary Address Streets.** The following existing public streets in the West End TND District have been designated as Secondary Address Streets for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

- West Campus Drive

This street provides vehicular access and connections throughout the West End TND District and the adjacent developable/developed sites and blocks. These streets are characterized by slower moving traffic and a pedestrian oriented streetscape. They also provide the principal access to parking facilities. Any improvements shall comply with the Borough's Street standards and shall follow the requirements of these referenced, illustrated sections: Exhibits 7a through 10h2 illustrated at the end of this chapter in their entirety for easy reference.



Typical Infill Residential Streetscape along West Campus Drive

**Recommended principal qualities of Address Streets include the following:**

- **Movement:** Free, un-signalized two-way pattern.
- **Lanes:** 2 Lanes (10 to 11 foot lane widths measured from back of curb, varies by existing public right-of-way width. Where existing right-of-way width allows, a turn lane, if required by City or Planning Commission at site plan review, shall be set at 10-foot wide.
- **Parking:** Parallel on-street parking shall only occur along one side of the street (optional parallel parking as required where existing right-of-way width is 45 feet or more). The parking stalls shall be seven (7) feet x 22 feet.
- **Right of Way:** 40 to 50 feet varies by existing condition.
- **Building Line:** 10 to 15 feet from back of public right-of-way varies by building uses, height and/or architectural façade treatment (see Chapter 6: Building Consideration). Awnings, shutters, flower beds, and/or raised open terraces shall be allowed within the set back distance with Borough approval. Development with a proposed building line set back more than 15 feet with surface parking at street front subject to the Borough’s review and approval at the time of site plan submission.
- **Sidewalks:** Minimum of five (5) feet wide on both sides of the street (subject to specific use).
- **Drainage:** Curb inlets, underground conveyance.
- **Curbs:** Raised, with gutter pan.

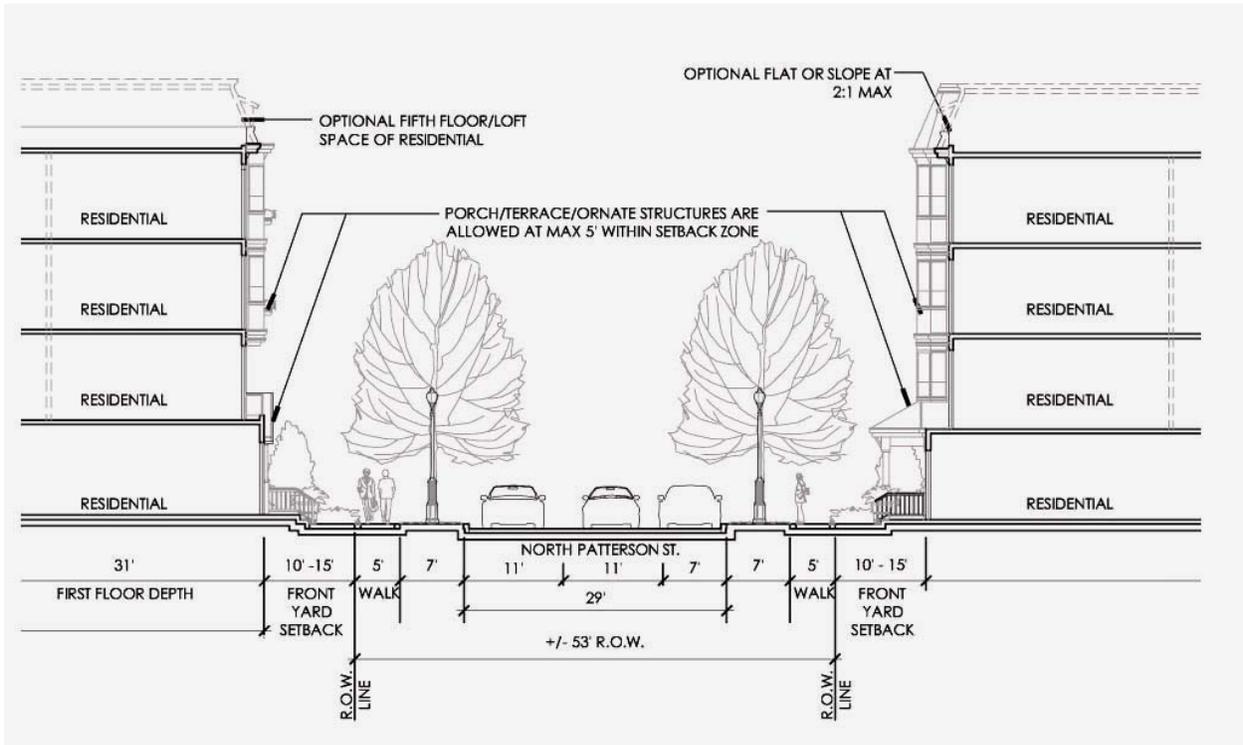
- **Curb Returns:** 15 to 25 foot radius (per intersectional requirements). The radius will be adequate to accommodate an “SU-20” design vehicle.
- Street locations and geometry shall be in accord with final site plans.
- **Planting Zone:** Five (5) foot wide minimum planting zone between back of curb and sidewalk or tree pits (minimum size 4 feet x 8 feet) incorporated into the paving and parking design on both sides of the street. The planting zone will include trees and ground covers (subject to specific use) and shall be continuous for the entire length of the street, unless interrupted by a node or special feature. Planting inside the public right-of-way will be subject to planning staff review and approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, streetscape elements and other fixed objects will be located entirely inside of the public right-of-way (see Section 2630. for planting requirements). An additional planting zone (front yard planting buffer) of 6 to 8 feet minimum outside the public right-of-way is required along the sidewalk and will be subject to the Borough’s review and approval at the time of site plan submission.
- **Tree Planting:** Planting of trees will not conflict with utilities, or will the planting of trees affect sight distance requirements at street corners and site entry/egress points.
- **Street Lighting:** Pedestrian scale with a pole height of 12 to 14 feet above grade and served by underground utilities.
- **Street Elements:** Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the State College Borough DPW. See street cross section on the following page.

(7) **Tertiary Residential Streets.** The following existing public streets in the West End TND District have been designated as Residential Streets for determining future roadway and streetscape design requirements to be implemented as project opportunities arise:

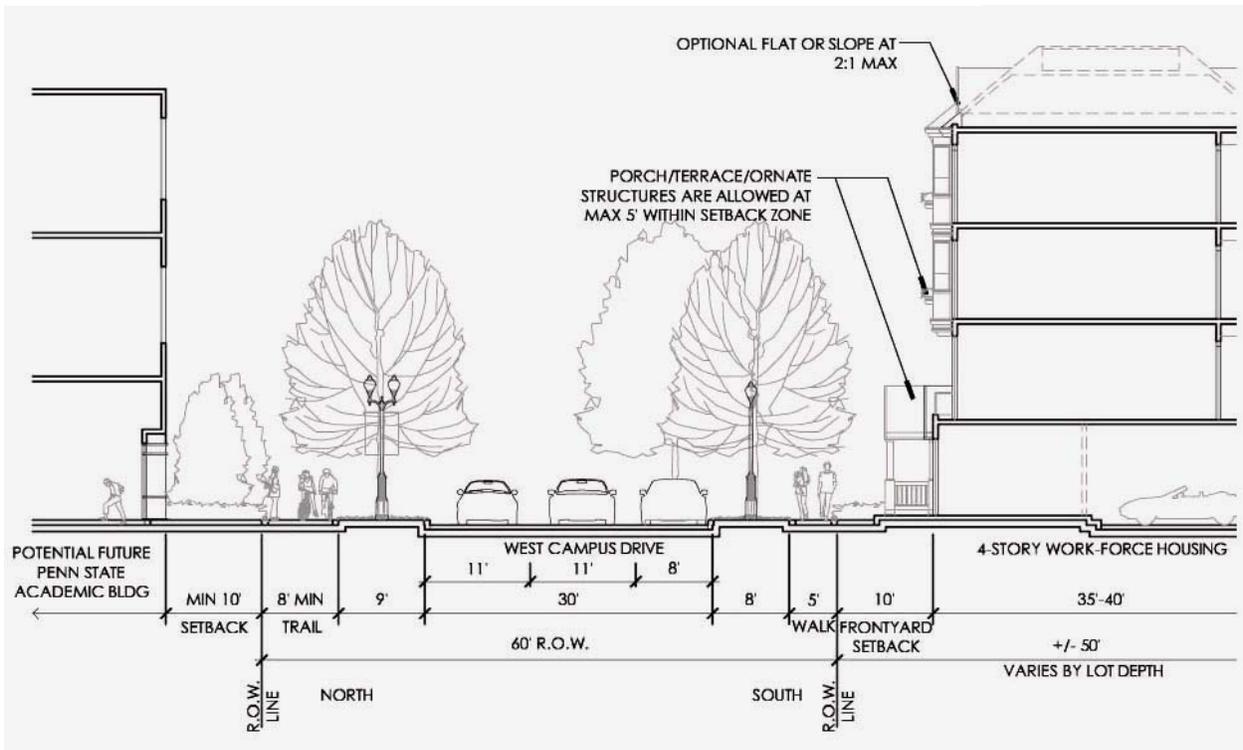
- North Buckhout Street
- North Patterson Street
- North Gill Street
- North Barnard Street

**Residential Streets** provide the secondary circulation within the West End TND District and provide access to adjacent parcels. **Recommended principal qualities of Residential Streets include the following items:**

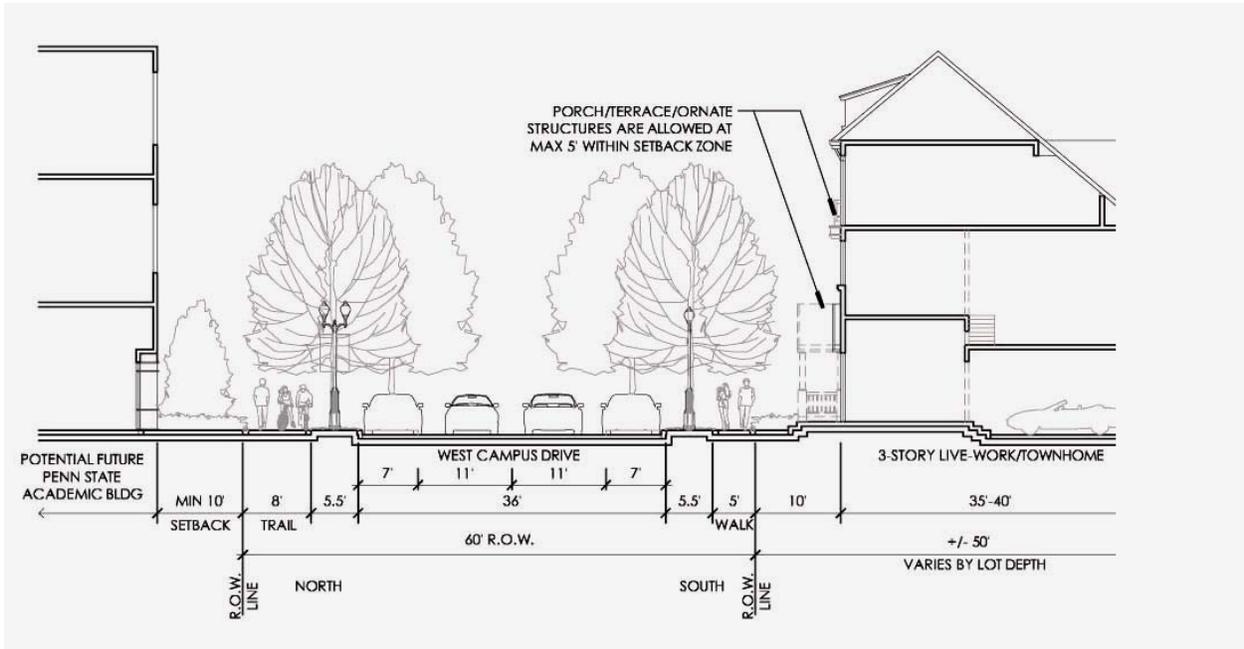
- **Movement:** Free, un-signalized, two-way pattern. Design Speed: 20 mph.
- **Lanes:** Two (2) Lanes (10 to 11 foot lane width measured from back of curb, with no turn lanes).
- **Right of Way:** 40 to 50 feet varies by existing conditions.
- **Building Line:** Minimum of 10 feet from back of public right-of-way varies by building uses, height and/or architectural façade treatment (see Sections 2622. Building Considerations and Section 2623. Overview of Guiding Principles for West End TND District Architecture). Architectural elements such as



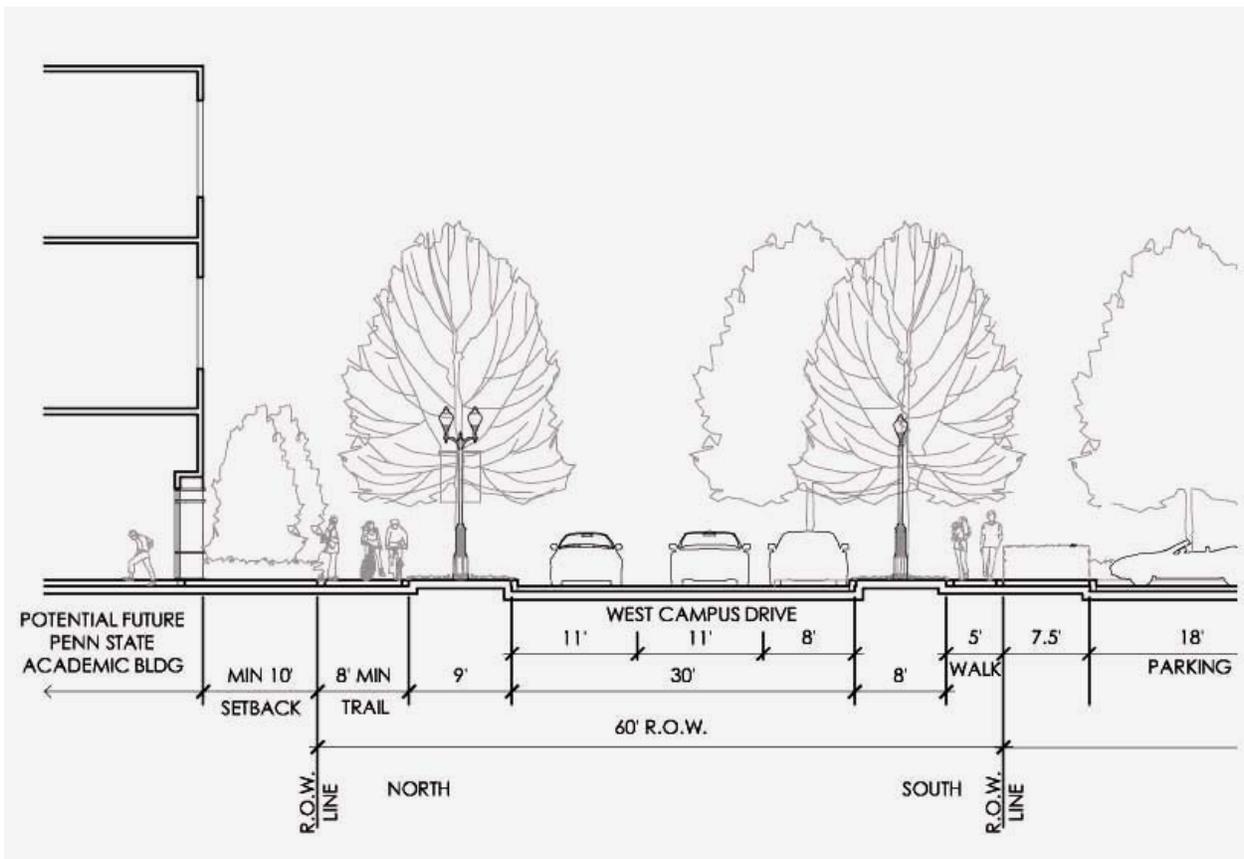
Typical Infill Residential Streetscape along North Patterson Street



Typical Infill Workforce Residential Streetscape along North Gill Street – Option 1.



Typical Infill Work-force Residential Streetscape along North Gill Street – Option 2



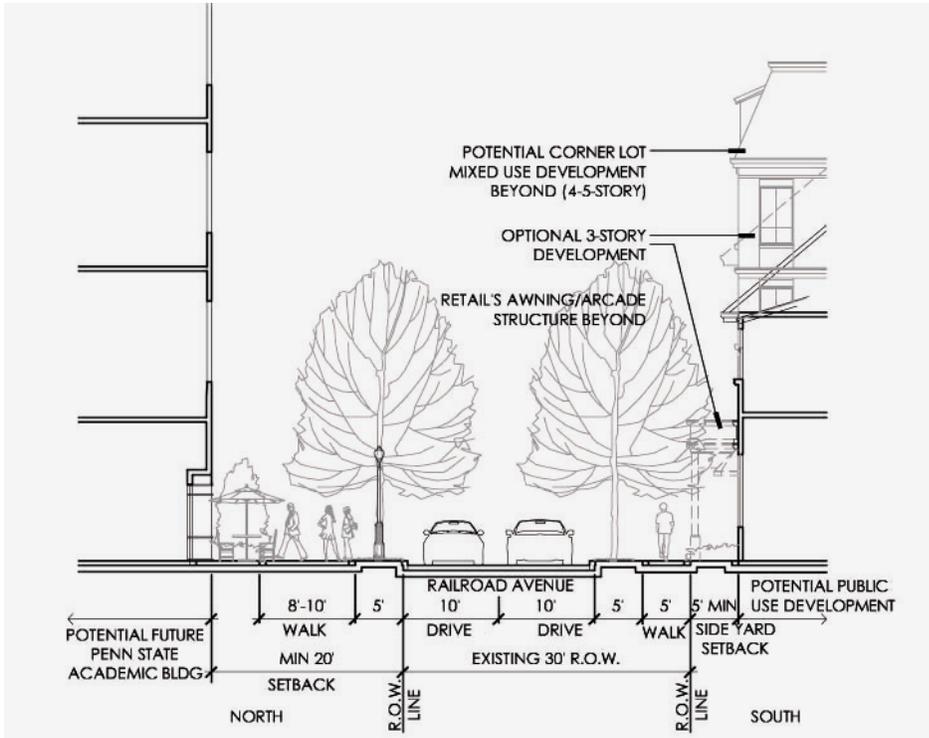
Typical Infill Work-force Residential Streetscape along North Gill Street – Option 3

awnings, shutters, and/or flower beds shall be allowed within the setback distance with Borough approval. **Sidewalks:** Five (5) foot wide minimum along both sides of the street (subject to specific use).

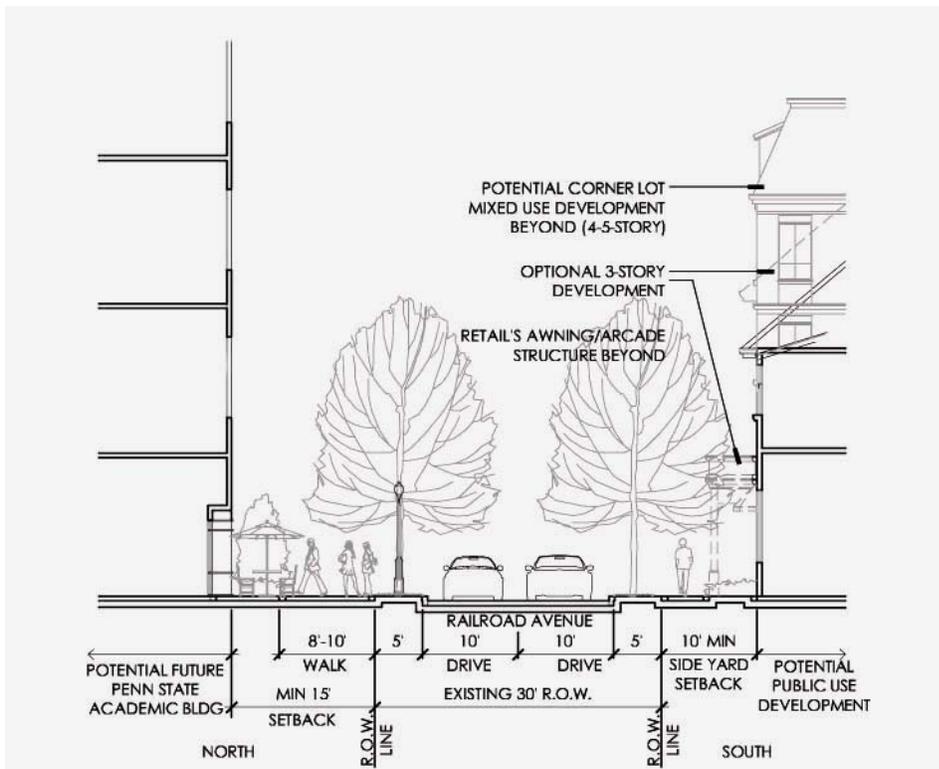
- **Drainage:** Curb inlets, underground conveyance.
- **Curbs:** Raised, with gutter pan.
- **Curb Returns:** 15 to 25 foot radius per intersectional requirements. The radius will be adequate to accommodate an “SU-20” design vehicle.
- Street locations and geometry shall be in accord with final site plans.
- **Planting Zone:** Five (5) foot wide minimum planting zone between back of curb and sidewalk. The planting zones shall be continuous and will include trees and ground covers (subject to specific use). Planting inside the public right-of-way will be subject to Borough review and approval at the time of site plan submission. Unless alternate location approval is granted by the Borough, tree pits, other fixed objects and streetscape elements will be located entirely outside of the public right-of-way. An additional planting zone (Planting Buffer) of five (5) feet minimum outside public right-of-way is required along the sidewalk for development with surface parking at street front.
- **Tree Planting:** Planting of trees will not conflict with utilities or will the planting of trees affect sight distance requirements.
- **Street Lighting:** Pedestrian scale fixtures with a pole height of 12 to 14 feet above grade and served by underground utilities.
- **Street Elements:** Street elements such as lights, trash receptacles, chairs, benches, tables, etc. located within the public right-of-way shall be approved by the Borough.

(8) **Internal Alleys and Lanes.** The following existing public alleys in the West End District have been designated as Internal Alleys and Lanes for providing access to potential infill development and parking.

- Calder Way
- Railroad Avenue
- Coal Alley



Typical Public-Use Infill along Railroad Avenue – Option 1



Typical Public-Use Infill along Railroad Avenue – Option 2

(9) **Proposed Alleys.** A system of alleyways may be also constructed within the interior portions of proposed development properties with the West End TND District. They shall be either parallel or perpendicular to the orthogonal street system and provide access for both residents and service. These alleys and special vehicular passageways may be constructed within the interior individual building sites in order to connect the proposed building(s), motor courts, surface parking lots, and/or parking structures to a public street in accordance with the following standards:

- **Movement:** Free, un-signalized, one or two-way pattern.
- **Design Speed:** 15 mph.
- **Lanes:** 1 to 2 Lanes (10 to 11 feet per lane with no turn lanes).
- **Right of Way:** 20 feet.
- Street to conform to the **Borough's standards** for pavement design.
- Private **street locations and geometry** shall be in accord with final site plans.
- **Paving materials** to match those of adjacent public streets, provided that specialty pavers are permitted subject to approval of the Borough.

(10) **Pedestrian and Vehicular Alley Treatments Appropriate to the West End**



Vehicular alleyway.



Vehicular alleyway.



Pedestrian alleyway.



Pedestrian alleyway.



Commercial pedestrian alleyway.



Pedestrian alleyway.

**b. Public Transportation.**

(1) **Bus stops** are already located along College Avenue. At full development of the West End TND District and in light of the growing student population a higher use of the public transit should be expected. The bus stop shelters shall be specified and coordinated with the character of the adjacent architecture and streetscape furnishings.

Developments with more than 400 feet of frontage at designated CATA bus stops may construct a bus shelter that is architecturally compatible with the primary building.

**c. Public Park(s).**

(1) **North Sparks Street Park.** The proposed park along North Sparks Street is the core public open space of the West End TND District. Incorporating passive park features and urban landscaped spaces, the park space will create diversity with the built environment and relief experiences. The proposed park will become the center of outdoor activity for the adjacent residents and will contribute to the preservation of the area's character.

**(2) Passive Public Park Design Treatments Appropriate to the West End**



Comparable image of amenities envisioned for park.



Focal features envisioned at edge of Sparks Street Park open space.



Tiered amphitheater/stepped seating area envisioned for the central open space.



Articulated paving pattern to add interest and direct circulation.



Activity and life surround the primary open space.

**d. Sidewalks and Overall Streetscape Design**

(1) **Site and Building Integration** - The West End TND District is envisioned to be developed as a fully integrated multi-use district, with a strong emphasis placed on coordinated pedestrian linkages. Therefore, it is important that equal attention be paid to both pedestrian and vehicular circulation throughout the area. An integrated multi-use development provides greater opportunities to share facilities and infrastructure systems, thereby creating greater convenience and economies for users.



**Landscaping**

Sidewalks shall be a minimum of five (5) feet in width and otherwise constructed in accordance Borough requirements.

Adequate and safe sidewalks and areas of pedestrian circulation from street and parking areas shall be provided. The sidewalks and circulation areas must be a minimum of five (5) feet in width and distinguished from vehicle use areas by using colored pavement, brick, alternative pavements and/or landscaping. Pervious hardscape materials should be preferred over impervious where feasible to help reduce stormwater runoff speed and quantities.

(2) **Circulation** - The previous section describes the goals for ground level pedestrian and vehicular circulation. The Borough shall ensure that an integrated system of through building passages, garage connections, pedestrian concourses, and covered walkways completes the overall circulation system.

(3) **Private sidewalks** - Private walkways shall be provided by individual developers and property owners and connect to both existing and proposed sidewalks, buildings, and public spaces within neighboring developments. Private residential walkways shall meet the current minimum requirement of five (5) feet wide and where possible shall match the building architecture patterns and materials. Pervious hardscape materials should be preferred over impervious where feasible to help reduce stormwater runoff speed and quantities.

- Residential entry areas shall be connected to the public walkway system and shall meet the current minimum requirements.
- Covered walkways shall be provided by individual developers and/or property owners at building entries and porte-cocheres (a.k.a., carriage porch). Sidewalk connections shall also be provided to buildings and their parking lots. These widths may vary depending on site constraints.
- Consistent graphics and lighting programs shall be used to identify all private walkways. Bituminous paving shall not be used in sidewalk areas as this does not complete the existing concrete walks and the proposed streetscape improvements

(2) **Private Sidewalk Treatments Appropriate to the West End**



Typical character of existing private walks in the West End District



Modest 5' wide private concrete walks are appropriate for the West End.



Private walkways shall be constructed to connect entrances with the public walks.

(4) **Public Sidewalks and Associated Streetscapes** - Public sidewalks shall be provided by individual developers, property owners, and the Borough of State College along all streets to be

publicly designated. All sidewalks shall connect to the existing and proposed sidewalks, buildings, and public spaces associated with private developments in the West End TND District.

All public sidewalks within the West End District shall be constructed in accordance with current construction standards and approved by the Borough.

Consistent graphics and lighting programs shall be used to identify public sidewalks. Bituminous paving shall not be used in sidewalk areas. Where appropriate pervious pavement materials should be preferred over impervious materials for any private sidewalk to help reduce stormwater runoff speed and quantities.

Although a street hierarchy has been established according the vehicular and pedestrian circulation earlier in this chapter – Primary Mixed-Use Street, Secondary Address Street, and Tertiary Residential Street – the public realm performs differently aesthetically. A consistent lighting and site furnishing program will be established along all public streets in the West End TND District. Within the public right-of-way, repetitive fixtures and amenities will be present, all of which are approved by the Borough and PennDOT. Private lighting and site furnishings will permit variations, within individual lots, of the traditional “public” elements, with Borough approval.

**(5) Primary Mixed-use Streetscape Treatments Appropriate to the West End**



“Primary Mixed-Use Streetscape” with parallel parking available.



Commercial can visually spill into public realm through the use of awnings and fencing.



Pathways through buildings.



“Primary Mixed-Use Streetscape.”



“Primary Mix-Use Streetscape” with angled parking available.



Awnings and building fenestrations create an engaging streetscape.

**(6) Secondary Address Streetscape Treatments Appropriate to the West End**



“Secondary Address Streetscape” with parallel parking available.



Secondary “Address Streets” shall have a higher level of streetscape finishes such as the use of modular brick or concrete unit pavers.



**(7) Tertiary Residential Streetscape Treatments Appropriate to the West End**



Example of current “Residential Streetscape” treatments in the West End.



The residential streetscape treatment envisioned for key tertiary streets consists of patterned / scored concrete walkways and lawn panels.



**(8) Crosswalks** - Pedestrian crosswalks in the West End TND District should be consistent in layout and design; however, the materials used for implementation may differ between crossings. The surface treatment of crosswalks will vary depending on the types of streets of which it is comprised. In areas where a more elaborate streetscape crosses one that is less so, the crosswalk treatment should respond to the more elaborate of the two. Thus, where a brick streetscape crosses a concrete streetscape, the crosswalks should match the brick.

The dimensions for crosswalks may also vary from street to street. It is generally desirable to align the outer limits of crosswalks with the building facades or rights-of-way of the two intersecting streets. The inner limits of the crosswalks are then defined by adopting standard dimensions for crossing widths (ranging from 10’ to 15’ or equal to the sidewalk/right-of-way width. This approach allows the streetscape to continue visually across the street. However, this approach does not always work due to misaligned building facades, curvilinear streets or misaligned streets. In such cases it is best to run crosswalks parallel to a line projected from face of curb to face of curb from the misaligned roadways.

Street crosswalks shall be provided across all public streets, private vehicular access ways, motor courts and service drives located between parking areas and building entrances. To enhance public safety, minimize crossing conflicts and provide visual cues to both pedestrians and motorists, all pedestrian street crossing shall be well defined. Articulating crosswalks through contrasting unit paving materials and painted striping will provide a designated path for pedestrians.

Crosswalks shall be a minimum of eight (8) feet wide. Crosswalks at the key intersections indicated on the diagrams in the previous pages shall be a Type 1 Crosswalk - stamped and colored asphalt with a 1'-0" white paint band outlining both sides of the crosswalk or a brick/concrete unit paver field with a 1'-0" concrete band outlining both sides of the crosswalk. All other crosswalks shall be a Type 2 Crosswalk - striped with white paint or thermoplastic vinyl tape. All final crosswalk and associated curb ramp designs should be reviewed for their compliance with the Americans with Disabilities Act Accessibility Guidelines.

(9) **Hierarchy of Crosswalk Treatments Appropriate to the West End**



Address Streetscape crosswalk treatment – Stamped Asphalt with painted or thermoplastic borders



Address Streetscape crosswalk treatment – Unit Pavers with Concrete bands.



High-quality, pedestrian gateway crosswalk installation near the Naval Academy Campus - Annapolis, MD.



Residential Streetscape crosswalk treatment – striped with paint or thermoplastic vinyl tape.



Streetscape crosswalk treatment along College Avenue – striped with paint or thermoplastic vinyl tape.

(10) **Trails/Pathways** - Formalized/maintained trails and pathways shall be provided within the West End TND District area through naturalized public spaces and common areas, forming a continuous, looping circulation system connected to the traditional public sidewalks. Where appropriate within environmentally sensitive areas, a curvilinear alignment and layout that preserves existing and natural vegetation/features and accenting major views of interest shall be used.

(11) **Trail and Pathway Treatments Appropriate to the West End**



Example of typical bike trail envisioned for West Campus Drive.



Sample urban trail delineated by the use of colored, stamped concrete or paver material envisioned for the West End.

(12) **Paving Materials** - Special sidewalk treatments, such as the use of brick or colored concrete pavers, add color and interest to a streetscape environment. Masonry pavers are cost effective over the long-term due to their durability and ability to be removed and reset for underground repair of utilities. With concrete sidewalks, the constant need for access to utilities in commercial corridors frequently results in unsightly concrete patching. The level of quality in the streetscape environment can be greatly enhanced through the North Sparks Street Corridor. A hierarchy of three paving material palettes is suggested below for use in the West End’s designated public Primary Mixed-Use Streets, Secondary Address Streets, and Tertiary Residential Streets as follows:

- Primary Mixed-Use Street – 100% full brick or slate specialty paving walkways with pre-cast concrete raised planters in commercial areas or tree lawns in residential areas.
- Address Street – 70% colored concrete pavers and 30% brick or slate specialty paving with in-ground planters in commercial areas or tree lawns in residential areas.
- Residential Street – 90% poured concrete with 10% brick or slate paving marking entrances to residences with tree lawns along the curb.

Sidewalk paving materials should be reviewed and approved by the Borough Staff and Planning Commission and where appropriate, pervious materials should be used instead of impervious.

(9) **Hierarchy of Paving Materials Appropriate to the West End**



“Mixed-use Streetscape” full brick or concrete unit paver streetscape palette



“Address Streetscape” brick and concrete pavers or patterned concrete streetscape

**e. Tree Planters**

(1) **Use** - As referenced in the earlier sidewalk guideline sections, in-ground planters are the preferred alternative to tree grates for newly planted street trees. The in-ground planting bed concept provides for a greener streetscape environment while providing water absorption, lessening the risk of compaction and providing increased room for healthy root growth. Pedestrians are discouraged from walking through the planters by elevating them slightly with a coping edge and planting with ground cover or low shrub masses (1' high maximum).

(2) **Location** - The in-ground planters should only be used in areas where a walkway minimum of eight (8) feet from building face can be maintained for pedestrian flow. If tree planting beds are used on narrower walks, pedestrians will feel confined and disregard the planter boundaries by walking through them. In these circumstances it is better to use tree grates with underground structural soils and aeration trenches to encourage controlled root growth under the sidewalks.

**f. Streetscape and Site Materials/Furnishings**

(1) **Family of Elements** - The detail elements of streetscapes play a vital role in creating a desired theme or sense of place in urban environs. The elements to be considered are paving, crosswalks, lights, benches, trash receptacles, in-ground planters, bicycle racks and plant materials. These items can be chosen as a stocked item or they can be custom designed depending on the desired look, budget and level of desired future maintenance. Regardless of the direction taken, careful study must be taken when organizing a family of streetscape elements to be used.

(2) **Quality and Durability** - Streetscapes should be thought of as long-term investments and their quality should not be compromised by budget. Streetscape elements should be chosen for their overall response to design, cost, structural stability, durability and sustainability qualities. The elements presented in this section have been selected with these qualities in mind as well as past experiences with similar models or the manufacturers. They are intended to serve as guidelines for comparison with furnishings and materials put forth in development proposals as well as comparison with local manufacturers offering the same or similar streetscape elements.

(3) **Existing and New Site Furnishing Styles Appropriate to the West End**



Typical State College Borough Center furnishings



A variety of traditionally themed furnishings will help re-enforce the street hierarchy.



(4) **Variety of Materials** - Establishing a variety of coordinated street furnishings or hardscape improvements are strongly encouraged given that there are a variety of building styles in the district. The final selection of the palette of materials will be made by the Borough prior to

commencement of construction of any public improvements within the West End TND District. The following general guidelines shall apply:

- Bollards may be used in a number of applications, provided that they are a minimum twelve (12) to eighteen (18) inches in diameter. Pre-cast concrete and metal are acceptable materials. No fiberglass or wood materials shall be used.
- Metal flagpoles to match the existing street lighting are permitted for the flying of the American, Commonwealth of Pennsylvania, international, festival, and corporate flags. Flagpole heights shall not exceed 40 feet.
- Where used, pole mounted sources shall have a controlled cutoff reflector and shall match public street lighting. Light sources shall produce a white light. Colored lenses will be generally prohibited. Lighting shall be positioned and/or screened to minimize light spillover to adjacent sites and communities.
- Sculpture may be used but shall be appropriate in scale, form, and texture. It shall not produce noise (other than that can be generated from moving water) or contain flashing or moving lights. Fountains and water features may be appropriate in plaza areas.

The Borough reserves the right to review and approve all street and hardscape furnishings. Additional guidelines are presented for each of the specific streetscape and site furnishing items which follow.

(5) **Transit Stop/Shelters** - The design and location of all bus facilities, including bus parking, on private property shall be review and approved by the Borough Engineer.

(6) **Transit Furnishings Appropriate to the West End District**



Urban transit stop with supporting site furnishings.



Contemporary transit shelter.



Higher quality transit shelters could be used within new developments in the West End.

(7) **Telephone Enclosures** - All telephone enclosures shall be decorative in nature. They shall have a consistent theme throughout the West End TND District and shall be approved by the Borough.

(8) **Trash Receptacles** - This often overlooked fixture can play a very important role in the quality of a streetscape environment. If trash receptacles are available and properly located the public will use them. Properly designed, they can be an attractive sidewalk element. Trash receptacles are

required in public plaza areas, open green spaces, parks, bus stops, highly trafficked street corners and other sections of the West End TND District where people will congregate. Trash receptacles should also be located outside of food service facilities and convenience stores. They should not be placed where they would interfere with pedestrian or ADA movement.

Approved materials are stone, pre-cast concrete, and metal. To the extent feasible, trash receptacle colors and materials shall complement and be coordinated with adjacent buildings and other site furnishings. The design, quantity, and locations of trash receptacles will be reviewed and approved by the Borough Engineer. Recommendations of appropriate trash receptacles are listed below.

- Covered top is preferred
- Receptacle includes a min of 30-gallon capacity polyethylene liner
- Side or top opening styles
- Hinged door allows easy access for emptying; opens with toe clip mechanism, latches when closed
- Free-standing/surface mount pads, shipped with glides standard
- Ash urns formed of 1/8in. recycled aluminum; hooks onto top rod of receptacle door
- LEED Recommendation:
  - Litter receptacles should have a recycled material content of 75% or greater of which 50% or greater is post consumer and 30% or greater is post industrial. Receptacles should be 100% recyclable.
  - Illustrated below is an array of available and appropriate styles of trash receptacles from different companies.

**(9) Trash Receptacle Furnishings Appropriate to the West End District**



Victor Stanley  
Concourse Series  
Receptacle



Traditional Style Trash Receptacles - Victor  
Stanley Economy Series Receptacle



Contemporary style Victor Stanley Steelsites  
Series Receptacle



Industrial, Contemporary and Progressive Styles

Traditional Styles

(10) **Benches, Tables and Chairs** - Benches offer a place to rest, wait and watch. Placement should depend on identified areas of need and not interfere with pedestrian movement. Benches, tables and chairs shall be provided within all future public enhancement and private development projects in the West End. Color and style shall complement and be coordinated with the building and paving materials. Construction shall be of contoured, recycled wood, plastic or metal with the frame and/or end members constructed of heavy metal for quality and durability.

In recent years the availability of quality benches has dramatically increased. There are standard models on the market which are compatible with the themes envisioned for the West End TND District. Recommended bench styles for consideration in each district are illustrated below. The design and location of benches and other related furnishings shall be reviewed and approved by the Borough on a case by case basis during site plan review.

(10) **Benches, Tables and Chair Furnishings Appropriate to the West End District**



Traditional Style - Victor Stanley Classic Series Bench



Traditional Style Bench - Victor Stanley City Sites Series Bench



Contemporary version of traditional bench Victor Stanley Framers Modern Series Bench.

- Additional LEED Recommendations:
  - Benches shall have a high percentage of recycled content.
  - Benches shall be 100% recyclable.
  - Powder coating finish should not contain any heavy metals, should be HAPS-free and should have negligible VOCs.

(11) **Bicycle Parking Stanchions** - Bicycle racks shall be provided within the West End TND District, surface parking lots and in designated areas along Primary Mixed-Use Streets and Secondary Address Streets. Where bicycle racks are to be installed in residential areas, they shall be sited to minimize their appearance from the public streetscape. The design, quantity, and locations of bicycle racks will be reviewed and approved by the Borough Engineer. The color shall complement the proposed streetscape improvements. Recommended bicycle racks styles are illustrated below.

- Bike rack requirements:
  - One bicycle stanchion parking space for every twenty (20) motor vehicle parking spaces or a rack(s) that will hold ten (5) bicycles (permanently anchored) shall be provided. The bicycle rack(s) must be visually and physically accessible from the public sidewalk and street.

- LEED Recommendations:
  - Benches should have a high percentage of recycled content.
  - Benches should be 100% recyclable.
  - Powder coating finish should not contain any heavy metals, should be HAPS-free and should have negligible VOCs.

(12) **Bicycle Racks Appropriate for West End District Use**



Victor Stanley – T Series Bollard



Landscape Forms – PI Rack



Landscape Forms Multi-Bike Rack



Landscape Forms Circular Bike Rack



Landscape Forms

**g. Bikeways**

(1) **Intent.** Roadway surfaces must be designed to accommodate bicyclists and should connect to the surrounding existing and planned bicycle systems and link PSU, downtown, parks, open spaces, schools, libraries, civic buildings and neighborhoods within the area. Bike lanes shall meet all local transportation and state regulations. Bikeway lanes shall be properly located along Primary Mixed-Use Streets and Secondary Address Streets. Accommodations for bicyclists should be primarily for the recreational or leisure cyclist. Traveling at relatively slow speeds, the cyclists will likely make frequent stops along the West End TND District. Therefore, bike racks should be located at various locations throughout the downtown to provide safe and convenient temporary storage. Areas that are designated for bicyclists should use paving materials that are smooth and free of obstruction. There must be a clearly designated separation between bicycle zones and vehicular areas. This separation can visually be established by using varying colors or materials, where possible.

(2) **Bikeway Treatments Appropriate for West End District Use**



Walkway systems can also be designed to accommodate a mix of pedestrian and bicycle use.

Shared use off-road pedestrian / bike trails links should be used along the West Campus Drive Corridor.

## **Section 2626. Signage**

### **a. General Intent.**

(1) The sign regulations, controls and provisions set forth in these design guidelines are made in accordance with an overall plan and program for the public safety, area development, preservation of property values and the general welfare of the Borough and West End TND District, and are intended to further support the sign regulations specified in the Borough's Codification of Ordinances, Chapter XV, Signs. The signage design guidelines specified herein shall be administered and enforced in accordance with Chapter XV. Any conflicts between the sign design guidelines outlined below and the sign regulations specified in Chapter XV shall be resolved by the Borough's Sign Inspector.

(2) Except as provided below, and subject to Planning Staff and Planning Commission review;

- Wall signs cannot exceed 36 square feet in sign area.
- Canopy, awning and projecting signs are not to exceed 12 feet in length.
- One monument sign is allowed per frontage.
- Developments with one hundred (100') feet or less of frontage may only utilize wall, canopy, awning or projecting signs. All signs must be attached to the building.
- Developments with more than 100 feet of frontage with a building setback of at least 15 feet may utilize a monument sign not to exceed four (4) feet in height and 24 square feet per face.
- Tall monument signs, pole signs, off-premise signs, changeable letter signs (except as part of an identification sign), and flagging are prohibited.
- Temporary signs are allowed in accordance with the Boroughs Codification of Ordinances, Chapter XV, Signs, Part A, Section 103.
- An allowed sign may not flash, blink or fluctuate; and may not be animated.

(3) **Amortization Period** - All on premise signs in the West End TND District must comply with the sign regulations imposed by the Borough within five (5) years from the date of approval of this Ordinance.

**b. Design Intent.**

(1) The complex needs and functions of a mixed-use TND district often require an integral sign system to direct, orient, identify, and inform. It also facilitates pedestrian and vehicular movement through and around the community.

(2) **All site signs** shall be coordinated with a consistent style throughout the development project. Site signs shall be high quality and maintain a uniform color scheme, material, and design. A unifying logo shall relate the signs to one another.

(3) **Primary entrance signs** identifying the overall development can occur at key locations where internal roadways intersect main roads. These sites will be determined by the applicant and reviewed and approved by the Borough Engineer. These signs shall be architecturally compatible and be consistent with the buildings in the development.

(4) **Secondary entrance signs** identify specific buildings or tenants shall occur at key parking facility entryways. These signs shall be of small monument style and consistent with the primary entrance signs.

(5) **Directional signs** indicate locations of tenants, facilities, amenities, and other important locations. They shall be designed in scale to accommodate vehicles and pedestrians.

(6) **Regulatory signs** indicate handicapped parking, loading zones, fire lanes, and other service-related components. These signs shall be kept to a minimum and be consistent with the overall sign system whenever possible and shall conform to the height, information and color standards of the Borough and PennDOT. Sign faces shall be of approved materials, but sign backs and posts shall be painted in a color consistent with the theme of the overall project. Post shall be round or rectangular tube steel; "Channel" posts are not allowed.

(7) **Traffic control signs** such as stop, yield and speed signs, shall conform to the height, information and color standards of the Borough and PennDOT. Sign faces shall be of approved materials, but sign backs and posts shall be painted in a color consistent with the theme of the overall project. Post shall be round or rectangular tube steel; "Channel" posts are not allowed.

**c. General Signage Requirements**

(1) **Sign Location** - Except for public signs or locational advertising signs, all signs shall be located within respective property lines of the parcel on which the use or activity being advertised is located, and shall not project into any public right-of-way, existing or proposed to be dedicated by the landowner, unless approved as provided by subsection (a) hereafter when located on right-of-way immediately abutting the advertiser's premises. Such signs and their locations shall not obstruct or interfere with traffic, sighting distance, signals and public signs.

- Signs to be located within proposed public right-of-way shall receive approval from the Borough.
- On every corner lot within the triangle formed by the street lines of such lot and a line drawn between points on such lines as established below, there shall be no sign structure within the setbacks provided in subsections (i) and (ii) hereafter.
  - For a lot having an interior angle of 90 degrees or more at the street corner thereof: Points shall be 20 feet from the property lines extended.
  - For a lot having an interior angle of less than 90 degrees at the street corner thereof: Points shall be 20 feet from the property lines extended, plus one

foot for every 10 degrees or major fraction thereof by which such interior angle is less than 90 degrees.

(2) **Motor Vehicle Mounted Signs** - (including but not limited to trucks, buses, vans, automobiles and tractors) containing any type of sign (other than painted name, logo, and business information on a commercial vehicle) shall not be parked or placed in the West End TND District within sight distance of a public street, easement or private road. This prohibition shall not apply to overnight parking of vehicles.

(3) **Patriotic Flags** such as the flag Commonwealth of Pennsylvania, United States Armed Forces, the United States of America, and corporate and nonprofit organization flags used in conjunction with patriotic flags shall be permitted. Corporate flags, nonprofit organization flags, and patriotic flags shall be limited to one each per lot and shall not be larger than six (6) feet by 10 feet. Oversized flags shall not be permitted. Flags shall be sized in accordance with pole height as follows:

<u>Pole height in feet</u>	<u>Flag dimension in feet</u>
15	3 x 5
20-25	4 x 6
30-35	5 x 8
40	6 x 10

Note: Pole heights over 30 feet are not permitted.

(4) **All restaurant preview and menu boards** shall be permitted one each per site, but not greater than three (3) feet in height or four (4) feet in length. All restaurant preview and menu board signs must be approved by the Borough prior to sign permit submittal.

(5) **All billboards** are prohibited in the West End TND District.

#### **d. Sign License**

(1) Except for public signs and certain temporary, no sign one square feet or greater shall be erected, constructed, reconstructed, altered or repaired until it has been approved by Borough and a sign license has been issued by the Borough.

(2) A sign license may be combined with a building permit or other such Borough permit provided that each sign approved shall be assigned a registry number by the Borough. The sign permit is null and void should the sign not be erected within six (6) months from the date of issuance, or if any information in the sign permit application is found to be false or inaccurate and in noncompliance with the West End TND District Guidelines.

(3) An application for a sign permit, in addition to other items that may be required for combined permits, shall include scale drawings of the sign showing all dimensions, height, copy, colors, type of material, structural and architectural supports or backgrounds, method and hours of illumination, and a scaled location plan of the site showing the following:

- Proposed location of the sign with setback distances from all property lines to the closest projecting edge of the sign.
- Location, type and size of all other signs on the property.

- For facade signs, the location of the building with distances from all property lines, and the length (in feet) of all facades of the building upon which a sign will be placed as well as the projection (in inches) from facade or wall.
- Location and name of abutting streets.
- Zoning classification of the site and all adjacent properties.

**e. Building-Mounted Signs**

(1) **Building-mounted signs** shall complement the architectural design of the building and shall be reviewed and approved by the Borough. Building-mounted signs may be located on the surface of building facades in accordance with the following specific guidelines:

(2) Signs may be located in the horizontal base band of the building with multiple users on its ground floor. This area is defined as extending from the ground level to the floor slab of the second level of the building, or an area not exceeding 20 feet upward from the ground level, whichever is less. Only the base band along the front façade may be used for signing. The base band signage may not exceed 14 square feet per use. Only one sign is permitted per use.

(3) Signs may be located on the vertical face of a marquee, but no part of the sign shall extend above or below the vertical face. The bottom of a marquee sign shall be no less than 10 feet above a walkway or grade at any point.

(4) **Building Mounted Sign Treatments Appropriate for West End District Use**



Facade sign installed within commercial tabature envisioned for the West End.



Refined three-dimensional façade signage envisioned for the West End.



Sample of window transom signage envisioned for the West End District



Complementary facade signs installed within the commercial tabature.



Three-dimensional façade signage.



Creative fonts and elements add interest along streetscape.

(5) **Perpendicular signs** are permitted for commercial, retail, and office uses located on the ground floor of buildings with their primary pedestrian access located adjacent to the sidewalk in front

of their associated building. The signs shall not be larger than nine (9) square feet and shall be no less than 10 feet above a walkway or grade, at any point.

(6) **Number of Signs** - There shall be only one sign per principal entrance along the primary street.

(7) **Perpendicular Sign Treatments Appropriate for West End District Use**



Good example of perpendicular mounted, hanging wood and banner signs.



Good example of perpendicular mounted, hanging wood sign



Good example of contemporary perpendicular cut metal sign.



Projecting signs can be three - dimensional to provide added interest.

(8) **Awning Signage** - Signage may also occur on the fronts of awning valances or on the sloped portion of the awning. The awning canopy shall not extend more than five (5) feet from the face of the building façade.

(9) **Awning Sign Treatments Appropriate for West End District Use**



Good example of awning signage.



Contemporary style awning Signage – South Side Works Development Pittsburgh, PA.



Good example of window signage



Arcades suggest another pedestrian realm and add intimacy to spaces



Awning signage.

(10) **Sign Position.** - Signage for each first/ground floor user shall be located within the base band, perpendicular signage, marquee, or awning. In addition to the base band, perpendicular, marquee or awning signage, each user on the first floor may have one non-illuminated window sign. Total window signage may not cover more than 20 percent of the user's total window area and they are not allowed above the first/ground floor level.

- No signs shall be located on a penthouse, structural extension, or other architectural accessory and/or decorative building feature.
- No part of any sign shall extend above or beyond the perimeter of the building parapet or roof.

(11) **Non-permitted Signs.** - All other building-mounted signs and sign locations are not permitted.

(12) **Sign Area.** - The total sign area for all building-mounted signs cannot exceed one and one half (1-1/2) square feet of sign area for each of the first 100 linear feet of building frontage, plus one square foot of sign area for each linear feet of building over 100 feet of frontage. The "building frontage" is the facade that is architecturally designed as the front of the building and which contains the main entrance for use by the general public. However, no one sign shall have a sign area in excess of 36 square feet in the building base band and 60 square feet in the building's top band. The lettering in the top band shall be no higher than two (2) feet and shall not be internally illuminated or possess any other characteristics which do not complement the facade. All signs shall be architecturally compatible with the building they are intended to serve and the overall streetscape environment.

Except as qualified below, the area of a sign shall be computed as the entire area within a single continuous rectilinear perimeter of not more than eight (8) straight lines enclosing the extreme limits of writing, representation, emblems, or a figure of similar character together with all material, color, or lighting forming an integral part of the display or used to differentiate the sign from the background against which it is placed.

The area of building-mounted signs composed of individual letters and/or symbols shall be computed in accordance with one of the following methods:

- If the space between the proposed individual letters and/or symbols is less in dimension than the width of the largest unit, the computation shall be made in accordance with a strict application of the provisions above.

- If the space between the proposed individual letters and/or symbols is greater than the width of the largest unit, the computation may be based on the total area within rectangular enclosures surrounding each individual unit.
- Maximum lettering and image size is 12 inches on the building's base band. In the building's top band the maximum image or lettering height shall be no larger than one half (1/2) inch of the letter or logo height per one foot of building height measured from final grade to roof top.

Only the following types of building-mounted signs will be permitted:

(13) **Illuminated signs** of the following characteristics are permitted:

- Individual dimensional word or metal backlit (“halo-effect”) letters. The illumination behind such letters shall be white LED unless otherwise approved by the Borough.
- The following types of illumination are prohibited: 1) Any arrangement of exposed tubing or a series of lights in rows, strings, patterns affixed to any portion of a building or structure; 2) Any sign displaying flashing or intermittent lights, or lights of changing degrees of intensity of color or moving copy (exclusive of temporary Christmas and seasonal holiday lighting; and 3) internally illuminated channel letters with opaque metal sides and white translucent acrylic faces.

(14) **Illuminated Sign Treatments Appropriate for West End District Use**



Well hidden ground-mounted sign illumination.



Good example of direct burial uplight illumination.



Good example of façade signage illuminated from the front.



Poorly hidden ground-mounted sign illumination.



Good example of hidden LED lighting to illuminate sign with soft indirect glow.

(15) **Non-illuminated signs** of the following characteristics are permitted:

- Individual dimensional letters or gold or silver-leafed letters applied directly to glass or other signing surfaces with other colors to be approved by the Borough. Painted wood or painted metal is encouraged. The window sign may not cover more than 20 percent of the user's window area.
- Letters formed from thin metal plate or similar materials and pin-mounted at a distance approximately one (1) inch from the signing surface. The face of such signs shall not extend more than three (3) inches from the signing surface.
- Boxed or cabinet-type signs will be permitted on the buildings base band only. This sign type must be totally recessed and the sign background must be opaque and darker than the image.
- Signs shall be limited to identifying the name of the building and/or the individual enterprises located therein, trademark or identifying symbol or any combination thereof.
- Signs in the top horizontal band of a building shall be limited to the logo, logotype, or initials of the enterprise.
- All other non-illuminated signs are not permitted.

#### **f. Tenant Directory Signs**

(1) **Intent.** One (1) tenant directory sign may be used per building. Tenant directory signs are not permitted along the streets. They are only permitted in rear yards in shared surface parking lots. This sign is to incorporate the standard type sign housing at the prescribed location. It shall be designed from the same materials as the building identity sign or from the architectural theme and style of the street signage. These signs shall be limited to identifying the name of the building and/or the individual enterprises located therein, trademark or identifying symbol or any combination thereof. These signs are not intended as vehicles for advertising. No other directory signs, other than pedestrian directional signs like those illustrated below, will be permitted.

(2) **Sample Tennant Directory Signs Appropriate for the West End TND District.**



Good examples of free-standing pedestrian wayfinding tenant directory sign styles, envisioned for the West End District, from Celebration, FL., Reston, VA. and Greenville, SC respectively.

Good example of vehicular oriented directory signs from Easton, PA envisioned for the West End District

### **g. Information Kiosks.**

(1) **Intent.** Information kiosks may be permitted on a case-by-case basis. Because of their exposure, these sign types are the most important of all pedestrian signage in the West End TND District. Discretion shall be used in the use of all information kiosks. Kiosk housings will be consistent with the West End District's architectural theme and materials. The graphic parameters will be designed to permit maximum design flexibility on the kiosk faces. The services of a graphic designer are strongly recommended in laying out the kiosk face. All information kiosks shall be approved by the Borough. The applicant and the Borough will set the location of all freestanding kiosks. This consistent kiosk placement in conjunction with the standard kiosk housing will create a unified image of the entire site.

### **(2) Sample Directory Kiosks Appropriate for the West End TND District.**



Monument Style Pedestrian Directory Kiosks – Morgantown, WV & Dublin, OH.

Sample pedestrian oriented wayfinding kiosks from St. Petersburg, FL and Hagerstown, MD.

### **h. Specialty Signage/Banners.**

(1) **Locational Use .** Specialty banners are highly recommended on light fixtures located along the primary gateway corridors including College Avenue, Buckhout Street and North Sparks Street, as well as new address streets such as West Campus Drive. Banners are intended to advertise special events throughout the city, celebrate holidays, and add color during off times. They are intended to sustain a sense of excitement and change within the West End neighborhood, Downtown and PSU West Campus.

(2) **Material Construction.** They shall be designed to be changeable, as opposed to disposable. Due to the strength and intensity of the summer sun, it is recommended that all banner fabrics be made from marine canvas and/or vinyl fabrics. These types of fabrics will withstand prolonged exposure to the sun and will allow air movement through the banner and discourage damage by strong winds.

**(3) Sample Sign Banners Appropriate for the West End TND District.**



Refined specialty banner signs welcoming visitors to the Borough or a destination building are envisioned for the West End District.

Banners can also be used seasonally or designed to celebrate the West End District and Borough Center annual events.

**i. Small Regulatory Signs.**

(1) **Small regulatory signs** shall incorporate common design themes and complementary textures and colors throughout the West End TND District. These signs are defined as the following:

- Small signs displayed for the direction or convenience of the public, such as signs that direct traffic or identify the location of freight entrances or parking areas. These signs shall not exceed two (2) square feet in area.
- Signs warning the public against trespassing, swimming, or the like. These signs shall not exceed four (4) square feet in area and shall be posted at eye level.
- Small signs, above grade, which identify parking for the handicapped as required by the Borough. This sign type shall not exceed one and one half (1 1/2) square feet in area.
- All regulatory signs, their mounting systems, and sign poles (if applicable) shall be consistent with the overall architectural character and theme(s) of the West End TND District site furnishings illustrated in these guidelines.

**(2) Sample Regulatory Sign Treatments Appropriate for the West End District.**



Grouping of standard regulatory signs adapted to ornamental fluted poles, frames and post cap.

## **J. Temporary Signs**

(1) **Temporary Sign Definition** - A non-illuminated freestanding or facade sign erected on a temporary basis. Allowed temporary signs include those announcing construction projects on the premises; real estate or building space for sale or lease on the premises; grand opening, coming soon, now hiring, now open, or related temporary commercial activities upon the premises; or signs either on or off premise calling attention to a political candidate or issue, or to community or civic events, projects, or meetings. All other temporary signs are prohibited.

(2) **Portable Sign**: Any sign, including the other types that are mounted on any vehicle, trailer, or chassis are not permitted.

### **(3) Requirements for Temporary Signs**

- Temporary signs shall only be permitted when the proposed sign meets the definition of “temporary sign” above.
- A deposit/guarantee is required upon submission of the temporary sign permit application. The deposit/guarantee will be refunded only after inspection by the planning office proves that the sign was removed prior to the assigned expiration date. If an approved temporary sign permit is not removed by the assigned expiration date, a violation notice and correction order will be issued and forfeiture of the deposit/guarantee will result.
- For free-standing signs, the maximum number of sign faces is two. If the two faces are not flush together (back-to-back) then the angle of separation between the two faces must be less than 45 degrees. If the angle is 45 degrees or greater, then the proposal will be considered as two separate signs and approved only if the site qualifies for two signs.
- Maximum height for freestanding temporary signs is as follows:
  - Temporary commercial activities = four (4) feet.
  - All other permitted signs = four (4) feet.
- Maximum size allowed (per sign face) is as follows:
  - Temporary commercial activities = 16 square feet.
  - “Coming soon” or “now hiring” signs = 16 square feet.
  - “Now open” or “grand opening” events = 16 square feet.
  - Temporary lease signs = 16 square feet;
  - Builder, developer, engineer, finance company, and associated consultants, for on-premise construction projects = 32 square feet.
  - All other permitted signs = 16 square feet.



Sample grouping of typical temporary signs that would not be permitted in the West End District due to size constraints

- Maximum number of temporary signs per site shall be as follows:
  - Temporary commercial activity permit signs: One freestanding sign (to be located within the approved area), or one facade sign.
  - Non-shopping center site signs: “Coming soon,” “now hiring,” “now open,” and “grand opening” event are permitted one free-standing sign for each street frontage with a maximum of two, or one facade sign, on the site at one time.
  - Community and civic event signs calling attention to civic or community events, projects, or meetings shall be permitted as determined by street frontage using the following chart:

<u>Lot frontage along a street (in feet)</u>	<u>Temporary signs permitted</u>
0 to 100	1
>100 to 200	2

- Note\*: There shall be only one community or civic event sign per block face.
- Permitted time period for temporary signs requiring a permit is as follows:
  - Temporary commercial activity signs can only be approved for the same period of time permitted for the activity.
  - “Now hiring,” “now open” and “grand opening” event signs can be permitted for a maximum of 60 days (no renewals permitted).
  - “Coming soon” or “future home of” signs can be permitted for one year, and may be renewed thereafter for successive periods of one year each. Regardless of such period of approval, the permit for a temporary sign shall automatically expire 15 days after a permit for any permanent sign for the same project is approved.
  - Community or civic event signs calling attention to events, etc., should be approved only for a length of time beginning less than three (1) month prior to the event, and during the period the event is being conducted. They shall be removed by the person(s) responsible for the sign within five (5) days after the last date of the event or activity.

- Signs dealing with construction projects, including builders, developers, engineers, finance companies, associated consultants, or real estate matters (for sale, for lease, and now selling) may be approved for one year, and may be renewed thereafter for successive periods of one (1) year each, during the time occurring. A request for renewal shall require submission of a complete sign permit application no less than four (4) weeks prior to the assigned expiration date. Regardless to such period of approval, the permit for a temporary sign shall automatically expire 15 days after a permit for a permanent sign for the same project is approved.

**(4) Temporary Signs Exempt from Sign Permit**

- Temporary political signs and for sale or lease signs shall be permitted without a sign permit provided they are no larger than six (6) square feet, three (3) feet in height, and are set back from all property lines one (1) foot for each foot in height of the sign, and there are no more than one such sign on any lot. All other temporary signs two (2) square feet or larger in size shall require a sign permit.
- Temporary political signs shall be erected not sooner than 45 days before the election date for a primary or general election for the office the candidate is seeking and shall be removed by the person(s) responsible for the sign within 10 days after the election date provided that signs erected for a primary election may remain until 10 days after the general election for any person who is a candidate in the general election.
- Temporary for sale or lease signs shall be removed by the person(s) responsible for the sign within 10 working days after the property is sold or leased.
- Up to two (2) off-site temporary signs for the sale of a private residence shall be permitted without a sign permit, and may be placed while the property is actively being marketed and may contain an arrow. The signs cannot exceed four (4) square feet in size. The signs shall not exceed three (3) feet in height and only one (1) such sign shall be permitted per lot. The signs shall be placed on private property only with the consent of the owners.
- Up to two (2) temporary signs for the sale of a private residence and advertising an "open house" event shall be permitted without a sign permit and may be placed on or off-site for up to four (4) hours before and up to two (2) hours after the activity and may contain an arrow. The signs cannot exceed four (4) square feet in size. The signs cannot exceed three (3) feet in height and only one such sign shall be permitted per lot. The signs shall be placed on private property only with the consent of the owners.
- Signs not in accordance with the number, height, setbacks, size or aesthetic standards in these design guidelines shall be subject to removal or legal action.

**k. Public Signs and Historic District Markers**

(1) **Public Signage Requirements** - Public/regulatory signage tends to clutter the West End TND District due in large part to their piecemeal implementation, proliferation and engineered fabrication. Each set of signs are typically placed without regard for their immediate surroundings or where other signs may be. Attachment of signs to existing street lights and poles detract from their appearance. Signposts are numerous and are often out of vertical alignment. The following requirements

will help to organize public signs and enhance the visual qualities of the College Avenue corridor and neighboring streets.

- **Uniformity** – The recommended pole for all public signage is a simple, square straight steel pole in an adopted standard color for the corridor.
- **Placement** – Signs should have standard locations and be placed far enough from the curb to prevent damage from vehicles. Signs should be placed so that they are not visual or maintenance obstacles.
- **Consolidation** – Reduce the number of signs and sign posts by pairing and clustering signs.
- **Identity** – Develop a signage standard which will distinguish State College Borough signs from the ordinary utilitarian appearance of public signs. Develop a silhouette design for the top and bottom of standard signs.
- **Attachment** – Signs should be placed on sign posts. If signs are to be attached to lamp poles, use a bracket which projects the sign away from the post. Do not bolt through the sign center into the post.

(2) **Approvals** - All public signs and their location shall be approved by the Borough. The Borough may recommend to the agency or utility erecting the sign a location, size, aesthetics, and height for the sign and sign pole. Public signs shall not require a sign permit.

(2) **Sample Public/Historic Sign Treatments Appropriate for the West End District.**



Good quality street signage and regulatory signage examples for the West End District signage system – Dublin, Ohio



Sample Historic district marker designed and mounted to fit with municipal regulatory signage system- Columbia, SC.

### **I. Removal of Signs**

(1) Whenever a sign becomes structurally unsafe, as determined by the State College Borough building official and/or the Planning Commission, or endangers the safety of a structure, premises or the public, or is erected or maintained in violation of these design guidelines and the Borough's Zoning Ordinance, or is abandoned or the use with which it is associated is abandoned or discontinued, the zoning administrator and/or the Planning Commission may, by the issuance of a violation notice and correction order, order such sign to be made safe and comply with these guidelines and the Borough's Zoning ordinance, or be removed.

(2) If the cost of repairing a sign exceeds 50% of the signs value, it shall be removed and the replacement sign shall conform to these design guidelines and the Borough's Zoning Ordinance. The more restrictive requirements between the two documents shall apply.

(3) Failure to comply with the notice shall constitute grounds for the zoning administrator and/or the Planning Commission to have the sign removed, and the cost thereof shall be borne by the person so notified as an addition to any fine imposed by a court of law for a violation of this chapter. If the cost is not paid as an addition to a fine, the Borough may seek to recover such cost by any means allowed at law or equity.

### **Section 2627. Lighting**

Adequate lighting is essential to both the business community and residents, because it increase visibility and security. The following are general requirements and recommendations which should be met when designing for lighting in the public realm and private development projects.

(1) **The lighting regulations**, controls and provisions set forth in these design guidelines are made in accordance with an overall plan and program for the public safety, area development, preservation of property values and the general welfare of the Borough and West End TND District, and are intended to further support the lighting regulations specified in the Borough's Codification of Ordinances, Chapter XIX, Part K Lighting. The lighting design guidelines specified herein shall be administered and enforced in accordance with Chapter XIX, Part K. Any conflicts between the lighting design guidelines outlined below and the lighting regulations specified in Chapter XIX Part K shall be resolved by the Borough Planning Staff.

#### **a. Luminaire Replacement Standards**

(1) All lighting in the west End TND District must comply with the current Lighting Ordinance within five (5) years from the date of approval of this Ordinance by the Borough Council.

#### **b. Light Fixture Design Standards**

(1) A **coordinated hierarchy and diversity of lighting** and intensities is required to maximize the quality of the nighttime environment along the West End area and to guide pedestrians and motorists through the West End neighborhood area, and accent special features. Special features may include but are not limited to parks, courtyards, building entrances, pathways, and open spaces. This hierarchy and diversity shall respond to the relative enclosures, spaces, plant and building materials along with building heights and architectural features.

(2) **Lighting design criteria** shall apply to:

- All public streets within the West End TND District.
- Private streets, alleys, and access drives.
- Pedestrian and landscaped areas.
- Natural open spaces and trails.
- Motor/pedestrian courts and plazas.
- Surface parking areas.

(3) **Public Lighting** - Public streets within the West End TND District shall be illuminated using pedestrian-scale lighting (12 to 14-foot pole height) with a controlled light distribution pattern. The controlled light distribution minimizes excess illumination of adjacent properties. Controlling light distribution also allows for the use of lighting as a design feature and to promote safety. The streets that are intended to serve a dual use for “festival activities” and “outdoor markets” shall include supplemental lighting and appropriate electrical conduit and service connections to fulfill this purpose.

(4) **Private Lighting** - Private streets, alleys, and access drives shall use pole-mounted lighting to be compatible with the adjacent architecture. Landscape up-light and down-light accents shall be provided, where appropriate. In a fashion similar to public streets, those streets and alleys which are intended to serve a dual use for occasional “festival” activities and “outdoor markets” shall include supplemental lighting and appropriate electrical conduit and service connections to fulfill this purpose.

(5) **Lighting Layout** - A lighting plan shall be prepared for all proposed lighting improvements. The plan shall provide both vertical and horizontal illumination levels.

(6) **Pedestrian Lighting Requirements** - A white-colored light source shall be used to give a truer rendition of the existing surfaces that are being illuminated. Lighting in pedestrian plazas, pedestrian connections and sitting areas shall provide reasonable levels of nighttime visibility. Accent lighting shall be used at special locations such as stairs, entry signage, and sculpture.

(7) **Motor Court Illumination** - Light fixture illumination at motor courts shall be provided from indirect sources such as landscape, bollard lights, accent uplighting and downlighting. Where used, pole-mounted sources shall have a controlled cutoff reflector and shall match public street lighting fixtures. Light sources shall produce a white light. Colored lenses are prohibited. Lighting shall be positioned and/or screened to minimize light spillover to adjacent sites and communities.

(8) **Sample Bollard Lighting Styles Appropriate for the West End District.**



(9) **Architectural Flood Lighting** - With the exception of any retail establishments and restaurants, flood lighting of building exteriors shall be prohibited without the approval of the Borough. The fixture, design, color, location for all lighting shall be approved by the Borough. An illumination impact plan may be required by the Borough prior to building approval.

(10) **Sample Lighting Techniques Appropriate for the West End District.**



Indirect architectural uplighting should be concealed from view.



Post Mounted Pedestrian Lighting



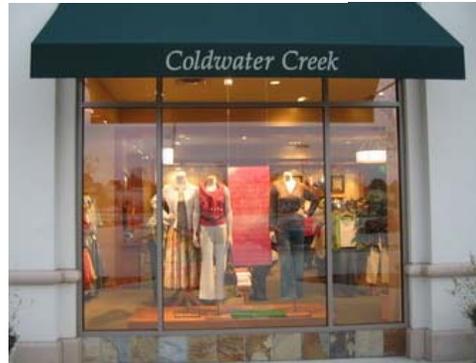
Pedestrian wall-mounted lighting



Architectural façade signage lighting



Illustration of preferred architectural interior lighting and soffit lighting.



Interior shop and window lighting adds to the streetscape environment.

(9) **Park Lighting Requirements**. The proposed Sparks Street Park, and neighborhood park areas shall be illuminated similar to private pedestrian landscape areas. Illumination intensities shall be greater than minimal standards to ensure nighttime “vibrancy” in and around the area. Motor courts will receive some illumination from adjacent buildings. Additional lighting within courtyards shall be provided by hidden source landscape up-light and down-light accents. Those areas that are intended to serve “festivals” and “outdoor markets” shall include supplemental lighting and appropriate electrical conduit and service connections. Recommended streetscape light poles styles are illustrated below:

**(11) Sample Lighting Styles Appropriate for the West End District.**



Traditional aluminum fixture with refractive globe and top to reduce night glare – 12’-14’ permitted



Traditional aluminum fixture with sharp cut-off optics to address “night Skies” initiatives in urban areas. – 12’-14’ permitted



Traditional style streetlight fixtures shall be used at intersection requiring more light for safety. – 20’ Maximum Height Permitted



Cobrahead streetlights are not permitted for use in the West End District.



Traditional “shoebox” sharp cut-off parking lot lighting – 20’ Maximum Height Permitted



Streetlights must be designed to accommodate banners and associated windloads on pole design.



Streetlights shall be designed to direct maximum lighting onto the walkway surface.

**Section 2628. Parking Areas**

**a. General Intent.**

(1) **Introduction.** Surface parking lots, if properly designed and screened, can contribute to the urban character of a district and provide an attractive pedestrian environment. A low evergreen

hedge and fence or masonry wall will screen wheels, bumpers and paving, thereby eliminating the harshest visual aspects of the parking lot, while also providing for surveillance and security.

(2) **The parking regulations**, controls and provisions set forth in these design guidelines are made in accordance with an overall plan and program for the public safety, area development, preservation of property values and the general welfare of the Borough and West End TND District, and are intended to further support the parking regulations specified in the Borough's Codification of Ordinances, Chapter XIX, Part H Off-Street Parking. The parking design guidelines and requirements specified below shall be administered and enforced in conjunction with the Borough's parking regulations enacted under the Codification of Ordinances, Chapter XI, Vehicles and Traffic, and Chapter XIX Zoning, Part H Off-Street Parking. Any conflicts between the parking design guidelines outlined below and the parking regulations specified in either Chapter XI or Chapter XIX Part H shall be resolved by the Borough Planning Staff.

**b. Surface Parking Requirements.**

(1) All parking areas must be located at the rear or side of the primary building or structure. The main entrance must be visually and physically accessible from the public sidewalk and street.

(2) On corner lots, no parking areas may be located between the building and the two (2) front property lines.

(3) The landscape bed for the parking lots screening must be a minimum of 6'-0" wide and contain a continuous evergreen hedge or masonry wall with a maximum height of 30"

(4) Alternative Porous Pavement Parking must be utilized for parking spaces over the required number of parking spaces for that Development. Alternative Porous Pavement Parking must also be utilized for parking on lots that abut the Corporation Canal. The use of porous pavement is encouraged throughout the parking areas.



(5) Use of vegetated swales and small constructed wetlands to slow and cleanse storm water runoff is strongly encouraged. All post-development storm water runoff that exceeds pre-development volumes shall where feasible be detained on site in rain gardens.

*(Note: A rain garden is a planted depression that is designed to absorb rainwater runoff from water impervious urban areas like roofs, driveways, walkways, and compacted lawn areas. This reduces rain runoff by allowing stormwater to soak into the ground (as opposed to flowing into storm drains and surface waters which causes erosion, water pollution, flooding, and diminished groundwater). Rain gardens can cut down on the amount of pollution reaching our creeks and streams by up to 30%. Native plants are recommended for rain gardens because they are more tolerant of the changing conditions of the rain garden. The plants — a selection of wetland edge vegetation, such as sedges, rushes, ferns, shrubs and trees — absorb the excess water, and through the process of*

*transpiration return water vapor into the atmosphere. A more wide-ranging definition covers all the possible elements that can be used to capture, channel, divert, and make the most of the natural rain and snow that falls on a property. The whole garden can become a rain garden, and all of the individual elements that we deal with in detail are either components of it, or are small-scale rain gardens in themselves. The Center for Watershed Protection, among other notable sources, provides additional information, including installation, at [http://www.cwp.org/Community Watersheds/educating\\_constituents.htm](http://www.cwp.org/Community_Watersheds/educating_constituents.htm).)*

(6) Rooftop parking is encouraged and should be utilized if possible.

(7) Shared drive-ways and parking areas are encouraged to minimize the number of curb cuts along College Avenue and neighboring streets.

(8) Cross access easements between parking lots are encouraged in site plan review.

(9) Subdivided properties must utilize shared parking and shared street entrances, which shall be shown on the final plat.

(10) Fences or walls used to shield parking areas from view shall be partial height enclosures (3'-0" maximum) for parking areas if used in conjunction with wrought iron fencing and/or landscaping. The brick color and finish shall match the primary structure. Any stone or brick that is used shall be of a similar color, texture and finish and complement the adjacent architecture.

(11) A maximum slope and cross slope of five (5) percent is recommended within the surface parking areas, and a minimum 10 foot buffer will be allowed between buildings and surface parking lots.

(12) Interior parking shall provide adequate turnaround areas for emergency and delivery vehicles.

(13) Individual off-site parking spaces within commercial areas shall not have direct individual access to any public street other than for parallel parking.

(14) Surface parking is only permitted in the rear or side yards and they shall not front the street.

(15) All parking lot entrances shall be marked with painted pedestrian crossings.

(16) Curb cuts should be kept to a minimum, generally one per block face.

(17) Access locations from the street to the surface parking lot, landscaping and sidewalk locations must be approved by the Borough.

**C. Surface Parking Landscape Requirements.**

- (1) At-grade parking areas, as well as medians, will be graded to ensure the preservation of existing vegetation as close as possible to the edge of the parking lot.
- (2) A maximum side slope of 2:1 will be allowed provided that such slopes are planted in an acceptable groundcover.
- (3) The maximum slope for lawn areas shall be 3:1. Retaining walls may also be required in some instances to preserve existing vegetation.
- (4) All surface parking lots shall have landscape medians as well as peripheral evergreen screening buffers.
- (5) The landscape medians will be at least 10 feet in width and designed to accommodate a suppressed water quality bio-swale for water purification prior to going into the Borough's stormwater collection and conveyance system.
- (6) Landscaped medians will also be provided between parking areas and service drives.
- (7) There shall be a 12-foot minimum buffer between the rear of commercial buildings and the surface parking and a 5' minimum buffer between the rear of residential buildings and the surface parking lot.
- (8) Within this buffer there shall be a minimum 5-foot landscape planting buffer adjacent to the building with a sidewalk (5-foot minimum width) adjacent to the parking area.
- (9) **Sample Parking Landscape & Paving Treatments Appropriate for the West End.**



Good example of required interior building and parking lot landscape.



Porous paving used in parking lot to aid in preserving mature oak trees.



Surface parking & entrance set to side & rear of building as required in the West End TND District.



Suggested walls and fencing design used to screen surface parking.



Natural character of evergreen plants maintained for a softer parkside look.



Perimeter evergreen hedge maintained at 36" to screen surface parking.



Example of specially paved visitor parking area within arrival courtyard.



Sample of adequately sized landscaped islands to promote good shade tree growth to soften visual impact of parking



Sample landscaped surface parking lot designed to accommodate rear garage access.

#### **d. Integrated Residential Parking.**

##### **(1) Sample Integrated Residential Parking Treatments Appropriate for the West End.**



Sample of recessed rear garage parking for residences envisioned for West End.



Sample side entry residential garage entrances envisioned at alley access points visible from public streets.



Sample rear garage alley way access designed to accommodate landscape screening between driveways. islands envisioned for West End.

#### **e. Integrated Structured Parking.**

(1) **Intent.** Freestanding and integrated parking decks may be employed at strategic locations within the West End TND District to accommodate the parking needs of the mixed uses. Parking structures are only permitted in the rear yards and shall not front the street. Design guidelines for West End TND District parking structures are specified below. These design guidelines address the

design considerations to be incorporated into the parking decks and structures. When the placement of a parking structure creates a space between the immediately adjacent building(s) it is intended to serve and itself, a 20-foot minimum buffer between the structures shall be provided. The space between the structures shall be landscaped and have a 6-foot wide minimum sidewalk. The exposed sides of a parking structure which are adjacent to internal vehicular circulation routes and/or surface parking areas shall have a 15-foot minimum buffer between the parking structure and the adjacent roadway/surface parking area. Within this buffer there shall be a 6-foot landscape-planting buffer adjacent to the building with a sidewalk (6-foot minimum width) along the curb edge. The Borough must approve access locations from the street to structured parking.

(2) **Parking structures**, like the other buildings within the West End TND District, shall exemplify excellence in design and materials. Their design and siting shall respond to pedestrian and vehicular circulation patterns and to site utility connections.

(3) **Sample Parking Structure Treatments Appropriate for the West End.**



Sample architectural materials that would be appropriate for West End parking structures; brick, precast concrete and dark metal accents



Sample courtyard space requirements envisioned for West End mixed-use developments requiring structured parking.



Interior block courtyards between parking structures and groundfloor uses shall be animated with open space amenities.

**f. Elevators.**

(1) Elevators shall be provided in all parking structures with more than three levels, and shall be visible for safety and located for convenient access into pedestrian circulation systems.

(2) **Sample Parking Structure Elevator Treatments Appropriate for the West End.**



Elevator/stair towers shall be emphasized in the architecture to provide façade articulation in the parking structure. Note\* the stair towers and parking structures within the West End TND District are limited to three stories maximum.

**g. Internal Ramps.**

(1) Internal ramps between floors shall not be visible from surrounding streets. All facades shall have a horizontal emphasis.

(2) **Sample Parking Structure Treatments Appropriate for the West End.**



Parking structure façade lines and floor levels shall be level on visible sides of the structure regardless of height. Ramps will occur within the middle of the structure or along the interior portions of alleys and walkways if structures must exceed two levels.

**h. Parking Structure Screening.**

(1) Parking structures shall appear as inconspicuous as possible and be visually screened from adjacent property and open space by the use of gradually sloping earth berms, new plantings, and/or the preservation of existing trees, where possible. Any parking structure that is located adjacent to a street shall have retail/commercial uses on the first level fronting the street and set back ten feet from the public right-of-way. If this is not feasible, the parking structure shall be setback from the right-of-way the required distance established by the Borough. The setback shall be planted with trees, shrubs, and ground cover to soften the view of the structure and establish an appropriate sense of scale.

(2) **Sample Parking Structure Screening Treatments Appropriate for the West End.**



Shade trees screen the setback entry of an interior block parking structure.

Metal screens (and vines) can be used along interior alleys and walkways to cost effectively screen parking use.

Parking entrances along a public street shall be clearly marked and incorporated within the primary architecture design.

**i. Architectural Details.**

(1) Adjoining parking structures shall have identical exterior and interior architectural and structural design including color, materials, appearance, and landscaping. The material and color selection shall be neutral and complementary to adjoining buildings.

(2) Each parking structure shall incorporate landscaping on the top level. Terraced planters and spandrels for parapet landscaping may be employed. A common graphic system shall be used at each level within continuous parking structures to simplify orientation for ingress and egress.



Sample green roof parking deck envisioned for larger and denser West End mixed-use/residential blocks.



Sample parking structure with parapet and column details compliments to adjoining structure.

### **Section 2629. Service Areas**

Service areas are defined as designated areas for short-term trash storage and pick-up, short-term recyclable materials storage and pick-up as well as above or below ground utility equipment such as condenser units, chillers, transformers, utility meters, etc.

#### **a. Location.**

(1) Service areas within the West End TND District must be carefully sited to be easily accessible, while remaining hidden from direct view from the primary or side streets. This can generally be accomplished by adhering to the following guidelines:

- Utility areas, mechanical equipment or designated loading spaces shall be located at the rear of buildings.
- Service areas shall be designed to be part of the primary building and should not detract from the aesthetic appeal of the West End TND District.
- Service areas may not be accessed or serviced directly on a public street. They must be located internal to the parcel and adequately screened from view.
- Service areas shall not be located at the entrance to a parking lot.
- Service areas shall be accessible by both vehicle access gates and a separate pedestrian access gate.

(2) **“Not Permitted” Trash/Recycle Location and Screening Examples.**



All trash & recycle containers must be visually screened with walls & plants.



Screened enclosures must be located to avoid conflict with vehicular access.



Trash containers must be visually screened at all sides from pedestrian and main vehicular Paths.

### **b. Utilities.**

(1) Utility and service integration must be considered in the development of all blocks and parcels within subdivided blocks to allow the most effective connection to the infrastructure systems. These considerations shall include the installation of sleeves for future extension of piping, shared, and oversized utility connections between buildings and shared entry courts or service areas.

#### **(2) “Not Permitted” Utility Placement Examples:**



Electric and telephone transformers should be coordinated to minimize visual impacts on the corridor.



Rooftop utilities that are well located but insufficiently screened from view.

### **c. Screening.**

(1) All dumpsters, exposed storage areas, machinery, service areas, truck loading areas, utility buildings, air conditioning units and other similar structures shall be screened from view from neighboring properties and streets with the same materials, color and/or style as the primary building in order to be architecturally compatible with the primary building.

### **d. Trash, Recycling and Utility Service Area Enclosures.**

(1) Garbage dumpsters and above ground utilities are a functional necessity for new development, yet they are a visual eyesore to streetscapes, parking lots, and surrounding properties. If the utility area is separate from the building it serves, it must be enclosed by a six (6) foot solid wall or fence constructed with materials authorized under the Building Materials section of these West End TND District Design Guidelines. Enclosures should be constructed of masonry wall construction with steel swing gates or an ornamental steel fence enclosure with ornamental steel swing gates, painted in a dark

color. The brick color and finish must match the primary structure and separated pedestrian gate access must be provided in addition to the service vehicle double gate access.

(2) All dumpsters and equipment shall be located behind the building being served. They should be located in the rear of parking lots in a location that is easily accessible and maneuverable for service trucks. The enclosure shall be maintained in a structurally sound manner, in good appearance, replaced when necessary and kept free of refuse and debris. Trash and utility enclosures may not be located within required building setback areas.

**(3) Sample Trash/Recycling Enclosure Treatments Appropriate for the West End.**



Typical wood trash enclosure. Not permitted in West End TND due to short-term durability issues.



Trash enclosures must be designed to conceal the correct size dumpster planned for use.



Sample image of preferred masonry wall enclosure with steel swing gates required in the West End District.



Good example of permitted service enclosure with pedestrian access also provided.



Example of stucco trash enclosure with ornamental doors and trellis to screen facility from resident views.



Example of recycled materials compactor screen by masonry enclosure.

**(4) Sample Utility Enclosure Treatments Appropriate for the West End.**



Vented brick enclosure of electric transformer



Vented stainless steel trash and recycling enclosure on an arts alleyscape in Silver spring, MD.



Vented stainless steel enclosure of gas and electric utilities and meters on an arts alleyscape in Silver spring, MD.

**e. Service Bay Enclosures.**

(1) **Fences, walls and gates** may also be used in combination with walls and landscaping to provide screening of undesirable views or uses such loading docks, junkyards, building service areas, utility equipment, vehicle storage and outside storage. Where walls and fences are used for this purpose, their design shall be considered in context with the architecture of the buildings they serve and viewed as an extension of the architecture itself. Design, materials, color, location, and height of fencing must be approved by the Borough.

(2) **Sample Service Bay Enclosure Treatments Appropriate for the West End.**



Good examples of common service area screened from view with slide gates, fenestrated wall treatments, plant



Sample contemporary style service enclosure using brick and galvanized metal slide gate panel.



Sample service dock area built within larger scale structure.

**Section 2630. Landscaping**

**a. General Guidelines.**

(1) Any development with an existing building setback of 20 feet or more shall include a 10 foot street yard planting area within the front yard setback. The minimum requirements for the street yard planting area shall include one (1) Class “A” tree or three (3) Class “B” trees for every 40 linear feet of public street frontage, or fraction thereof, measured at the property line.

(2) The street yard planting area shall also include:

- Shrubs and ground cover planting to the extent that 40% of the street planting area is planted with vegetation other than turf grass.
- Hardscape elements such as courtyards, plazas, planters, benches, fountains and tables, in addition to the required trees may be included.
- A combination of both landscape and hardscape elements is encouraged.

(3) Corner lots with frontage on more than one street must provide a street yard planting area along the entire frontage of both streets.

(4) Any development containing 25 or more parking spaces shall contain a minimum of two (2) Class “A” trees or four (4) Class “B” trees for every 10 parking spaces, or fraction thereof.

(5) All parking areas shall be required to have a minimum of ten percent (10%) of the total vehicular use area landscaped with trees, shrubs and ground cover other than turf grass.

(6) Any development containing 25 or more parking spaces shall include sunken parking islands with curb cuts or drains that would allow channelization of storm water to vegetation planted within the island.

(7) Any commercial development that abuts a lot with residential zoning or residential existing land use must contain a minimum 12 foot wide buffer yard and the minimum planting as required for a 20 buffer yard Type B. Seventy-five percent (75%) of the required trees in the Buffer yard must be evergreen.

(8) Parking areas that abut a residential lot must include a solid eight-foot (8') fence, constructed with allowable materials, for screening.

(9) Where gas fueling bays or any portion of a vehicular use area front directly on streets within the West End TND District, a screen of evergreen plantings shall be provided. The screen shall be a minimum height of two feet (2'), a maximum height of three feet (3') and shall be placed within the street yard planting area (minimum width of ten feet (10')).

(10) Unless otherwise provided, allowable materials for fences and walls include: natural and man-made stone, brick, aluminum, architectural concrete, or wood. Fencing made of barbed wire, razor wire, plastic, chain link, or vinyl clad chain link is prohibited.

(11) Landscaping must be maintained according to the plan that was approved as part of the Building Permit process.

**b. Irrigation.**

An automated irrigation system shall be installed by the developer. Individual building site owners shall install, operate and maintain similar systems in landscape areas within their site where required, as approved by the Borough.

**c. Planting Practice.**

All plants shall be nursery grown in accordance with the highest standards of horticultural practices and shall be grown under climatic conditions similar to those of the site for at least two years. Plants shall be typical of their species or variety and shall have normal growth habits. Plants shall be free of disease and shall have healthy, well-developed root systems. All plants shall conform to the *American Standard for Nursery Stock* as published by the American Association of Nurserymen.

**d. Edging Material.**

The use of a plant bed edging or a mowing strip is required. The following materials are acceptable: spade edges, steel (black), concrete, stone, and brick.

**e. Plant Quantities.**

The following Guidelines establish typical plant quantities. Because parcels will vary in size, physical character and restrictions, more or less plant material than specified below may be required, subject to decision by the Planning Commission.

(1) **Commercial /Office /Retail Property Plant Quantities.**

- Shade Trees:
  - 1 per 40 linear foot of frontage along public roadways and major private streets planted 35 to 45 feet on-center.
  - 1 per 10 surface parking spaces with a minimum of two trees per landscape median within a parking lot. Landscape medians shall be a minimum of 300 square feet and have a minimum width of 5 feet.

- Surface parking lots shall not have more than two bays of parking without a continuous planted median and the median shall have a minimum width of 10 feet.
- Spacing of street trees shall be coordinated with the striped on-street parking spaces. This spacing allows vehicle passengers to open doors without hitting a tree and thus minimizes the damage inflicted upon trees from car doors.
- Ornamental Trees:
  - Two (2) per 40 linear feet of frontage may be used as accent trees. Plant quantities and locations must be reviewed and approved by the Borough. Two ornamental trees may be substituted for one shade tree and vice versa if approved by the Borough.
- Ground Plane Planting:
  - A minimum of 15 percent of the green area of a commercial, office, retail, business, industrial parcel, or lot shall consist of planting beds with shrubs, flowers, or groundcover. For building parcels with large undisturbed areas, this requirement will be based on the disturbed area.

**(2) Residential Property Plant Quantities.**

- Shade Trees:
  - One (1) per 40 linear foot of frontage along public roadways or major private streets planted 35 to 45 feet on-center.
  - Two (2) per lot (single-family detached).
  - One (1) per lot (single-family attached).
  - One (1) per two dwelling units (multi-family – duplexes, apartment, condominium buildings).
  - One (1) per two dwelling units (apartment buildings with 11 or more dwelling units)
  - One (1) per 10 surface parking spaces with a minimum of two trees per landscape median within a parking lot (multi-family). Landscape medians shall be a minimum of 300 square feet and have a minimum width of five (5) feet.
  - Surface parking lots shall not have more than three bays of parking without a continuous planted median. The median shall have a minimum width of five (5) feet. Continuous planted medians larger than eight ( 8) feet wide shall have a four (4) foot wide sidewalk incorporated into the median design.
  - Spacing of street trees shall be coordinated with the striped on-street parking spaces. This spacing allows vehicle passengers to open doors

without hitting a tree and thus minimizes the damage inflicted upon trees from car doors.

- Evergreen and Ornamental Trees:
  - Two flowering or evergreen trees may be substituted for each shade tree up to 30 percent of the required number, if approval by the Borough.
- Ground Plane Planting:
  - For single-family attached and detached units, a minimum of five (5) percent of the green area of a lot shall consist of planting beds with shrubs, flowers, or groundcover. (For lots with large, undisturbed wooded areas, this requirement will be based on the disturbed area.) For multi-family units, a minimum of 10 percent of the green area of a lot or parcel shall consist of planting beds with shrubs, flowers, or groundcover.

**g. Maintenance.**

(1) Individual owners shall be responsible for executing a landscape maintenance program for landscape areas within their site. The program shall include the following and be coordinated with the maintenance of common areas:

- Prune trees and shrubs as necessary to maintain an attractive shape; remove dead branches and provide clearance for vehicles and pedestrians.
- Replace dead and disfigured plant material immediately with plants of equal size. Fertilize, mulch, water, and weed plant beds. Apply insecticides and fungicides as necessary to maintain plant vigor and appearance.
- Lawns shall be watered, mowed, and maintained in a dense, weed-free condition. Lawns shall be edged adjacent to paved surfaces.
- Remove fallen leaves, branches, paper, and other debris from lawn, shrub, and pavement areas.

**Section 2631. Modifications**

(a) The governing body or the planning agency, if authorized to approve applications within the subdivision and land development ordinance, may grant a modification of the requirements of one or more provisions if the literal enforcement will exact undue hardship because of peculiar conditions pertaining to the land in question, provided that such modification will not be contrary to the public interest and that the purpose and intent of the ordinance is observed.

(b) All requests for a modification shall be in writing and shall accompany and be a part of the application for development. The request shall state in full the grounds and facts of unreasonableness or hardship on which the request is based, the provision or provisions of the ordinance involved and the minimum modification necessary.

(c) If approval power is reserved by the governing body, the request for modification may be referred to the planning agency for advisory comments.

(d) The governing body or the planning agency, as the case may be, shall keep a written record of all action on all requests for modifications.