

Meeting Agenda
State College Borough Planning Commission
January 19, 2017
Room 304 / 07:00 p.m.

I. Call To Order

II. Roll Call

III. Approval Of Minutes

IV. Chair Report

V. Public Hour - Hearing Of Citizens

VI. Land Development Plans

- A. Music I Renovations And Recital Hall, UPD Subdistrict 5 Zoning District, The Pennsylvania State University, Owner, Stahl Shaeffer Engineering, Engineer And Bostwick Design Partnership, Architect

VII. Community Planning

- A. Amendment To The Signature Development Project Conditional Use Provisions In The Commercial Incentive District

VIII. Official Reports And Correspondence

- A. Borough Council (BC)
B. Design And Historic Review Board (DHRB)
C. Land Development Plans
D. Staff Updates

IX. Upcoming Meetings

X. Adjournment

Documents:

Planning Commission - January 19, 2017.pdf

**Meeting Agenda
State College Borough Planning Commission
January 19, 2017
Room 304 / 7:00 p.m.**

I. Call to Order

II. Roll Call

Michael Roeckel, Chair
Anita Genger, Vice-Chair
Zoe Boniface
Charles Dumas
Scott Dutt
Jon Eich
Richard Kalin

III. Approval of Minutes – none

IV. Chair Report

V. Public Hour - Hearing of Citizens

VI. Land Development Plan

A. Music I Renovations and Recital Hall, UPD Subdistrict 5 Zoning District, The Pennsylvania State University, owner, Stahl Shaeffer Engineering, Engineer and Bostwick Design Partnership, Architect

The project consists of renovations to the existing Music I Building and the addition of a new Recital Hall that will connect to the east side of the Music I Building. The Music Building was constructed in 1964 and has not had significant renovations since it was built. The new Recital Hall will be located in the courtyard area that is situated between the Music I building, Theatre Building, Forum, and the Pasquerilla Spiritual Center. The approximate site area to be changed is 0.9 acres and includes the new recital hall building, pedestrian walkways, seating areas, landscaping, and associated stormwater management.

The Music I building faces Allen Road and the Recital Hall building will be connected and accessed by campus walkways. Vehicular access will be restricted to service vehicles. The erosion and sediment control approach integrates the use of the existing site and mild slopes which will minimize disturbance and runoff issues during the demolition phase of the project.

Attached to the agenda on **pages 5-14** are an aerial view, photos of the site and excerpts from the plan set.

Planning Commission: No action is required by the Commission. Comments regarding the preliminary land development plan can be submitted to staff and will be incorporated into the review letter.

VII. Community Planning

A. Amendment to the Signature Development Project Conditional Use Provisions in the Commercial Incentive District

During the December 19, 2016 Borough Council meeting, it was announced that Council would like to alter the location where the non-owner occupied provisions can be applied in the signature development project area.

The Planning Commission is asked to consider this alteration and provide a recommendation to Council.

Attached to this agenda on **pages XX** is the information Council received during their December 19 meeting and an excerpt from the Downtown Master plan.

During the January 4, 2017, the Commission requested to discuss the amendment again at this meeting. Staff will provide an update since the January 4, 2017 meeting.

Planning Commission Action: Review information and develop a recommendation for Council's consideration for the February 6, 2017 hearing.

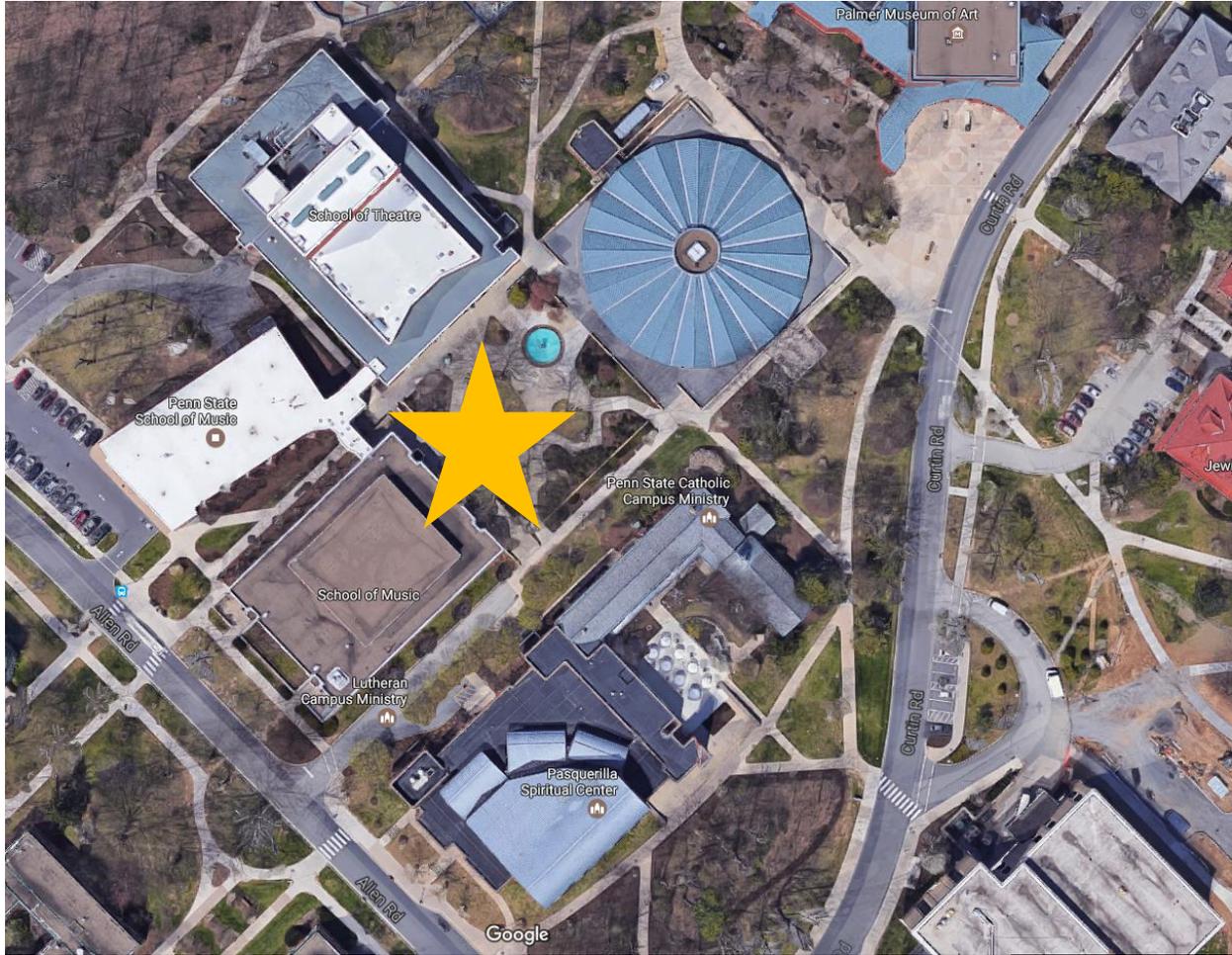
VIII. Official Reports and Correspondence

- A. Borough Council (BC)
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IX. Upcoming Meetings

Thursday, February 8, 2017 at noon

X. Adjournment



Aerial view of project area (Source Google maps)



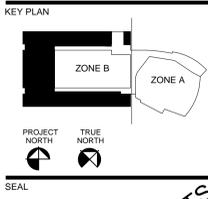
Existing conditions view 1 (Source Google maps)



Existing conditions view 2 (Source Google maps)

SHEET NOTES

LEGEND



**PROGRESS PRINTS
NOT FOR
CONSTRUCTION**

**Bostwick
Design
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BOP NO. 15115

PENN STATE

**RECITAL HALL &
MUSIC I RENOVATION**

ISSUED/REVISED FOR	DATE
90% SCHEMATIC DESIGN	11 APRIL 2016
100% SCHEMATIC DESIGN	18 APRIL 2016
100% DESIGN DEVELOPMENT	29 AUGUST 2016
50% CONSTRUCTION DOCUMENTS	28 NOV 2016

COVER SHEET

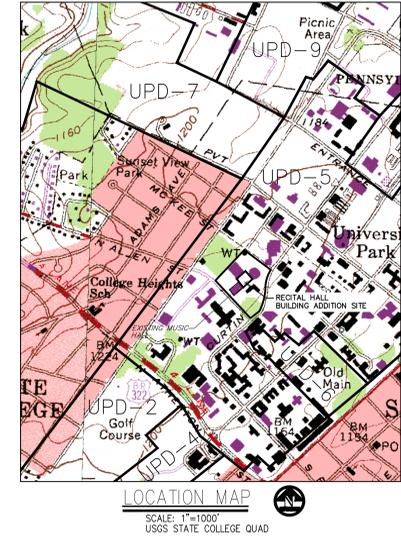
SHEET NO. **C100**

RECITAL HALL & MUSIC I RENOVATION

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

PENNSYLVANIA STATE UNIVERSITY UNIVERSITY PARK CAMPUS

DECEMBER 9, 2016
STATE COLLEGE BOROUGH,
CENTRE COUNTY, PENNSYLVANIA



STORMWATER MANAGEMENT ACCESS AND MAINTENANCE EASEMENT INFORMATION

1. THE STATE COLLEGE BOROUGH, ITS AGENTS AND ASSIGNS HAVE THE UNIMPEDED RIGHT TO ENTER ONTO AND UPON THE PROPERTY FOR THE PURPOSE OF INSPECTION AND/OR MAINTENANCE OF THE STORMWATER FACILITIES. THIS NOTE APPLIES TO THE ENTIRE PROPERTY SHOWN ON THESE PLANS AND SHALL BE IN EFFECT FOR PERPETUITY.
2. THE STATE COLLEGE BOROUGH AND/OR THE CENTRE COUNTY CONSERVATION DISTRICT MAY REQUIRE THE OWNER TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS, AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STORMWATER MANAGEMENT, AND PERMANENT EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AT THIS PROJECT SITE. THE OWNER SHALL IMMEDIATELY NOTIFY THE STATE COLLEGE BOROUGH AND THE CENTRE COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES.
3. THE OWNER HEREBY ACKNOWLEDGES STATE COLLEGE BOROUGH'S RIGHT TO PERIODICALLY ACCESS THE PROJECT SITE TO INSPECT THE PERMANENT STORMWATER MANAGEMENT FACILITIES THAT ARE PART OF THIS PROJECT. THE OWNER ALSO HEREBY ACKNOWLEDGES STATE COLLEGE BOROUGH'S RIGHT TO ACCESS THE PROJECT SITE WITH NOTICE TO REPAIR AND/OR MAINTAIN THE PERMANENT STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THIS MAINTENANCE PLAN. ANY MAINTENANCE AND/OR REPAIR ACTIVITIES CONDUCTED BY STATE COLLEGE BOROUGH SHALL BE AT THE EXPENSE OF THE OWNER.

GENERAL UTILITY & ONE CALL INFORMATION:

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE - BEFORE YOU DIG CALL THE PA ONE CALL SYSTEM TELEPHONE NUMBER 1-800-242-1776. ONE-CALL SERIAL # 20150991980

ALL UTILITY INFORMATION AND LOCATIONS SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. ALL UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD. CONTRACTOR SHALL NOTIFY PA ONE CALL (1-800-242-1776) AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION.

- * ELECTRIC - PENN STATE UNIVERSITY
113 PHYSICAL PLANT BUILDING
UNIVERSITY PARK, PA 16802
CONTACT: WILLIAM HARRIS
PHONE: 814-863-8742
- * SANITARY SEWER - PENN STATE UNIVERSITY
113 PHYSICAL PLANT BUILDING
UNIVERSITY PARK, PA 16802
CONTACT: JOHN GAUDILIP
PHONE: 814-863-8741
- * WATER - PSU WATER SERVICES
152 N PHYSICAL PLANT BUILDING
UNIVERSITY PARK, PA 16802
CONTACT: JIM BARD
PHONE: 814-238-0985
- * TELEPHONE - VERIZON PENNSYLVANIA, INC.
303 WALNUT STREET
STRAWBERRY SQUARE, 11TH FLOOR
HARRISBURG, PA 17101
PHONE: 717-255-5113
- * GAS - PENN STATE UNIVERSITY
113 PHYSICAL PLANT BUILDING
UNIVERSITY PARK, PA 16802
CONTACT: WILLIAM SERENCISITS
PHONE: 814-863-3192
- * CABLE - COMCAST
60 DECIBEL ROAD
STATE COLLEGE, PA 16801
PHONE: 800-266-2278
- * COMMUNICATIONS - PENN STATE UNIVERSITY-TELECOMMUNICATIONS
112 UNIVERSITY SUPPORT BUILDING 2
UNIVERSITY PARK, PA 1680
PHONE: 814-865-3988



SITE INFORMATION

- A. OWNERS OF RECORD: THE PENNSYLVANIA STATE UNIVERSITY
FACILITIES AND REAL ESTATE
107 PARK AVENUE BUILDING
UNIVERSITY PARK, PA 16802
- B. TAX PARCEL: 36-6-88
- C. DEED BOOK/PAGE NUMBER: V/22-23, V/20
- D. PROPERTY SIZE: 60.0 AC.
- E. ZONING: UPD-5 UNIVERSITY PLANNED DISTRICT, SUBDISTRICT 5
FAR (FLOOR AREA RATIO): 0.5
MAX. IMPERVIOUS COVERAGE: 13%
MINIMUM OPEN SPACE: 87%
SETBACKS: NONE
(REQUIRED IN UPD-11 ALONG MOUNT NITTANY EXPRESSWAY AND PARK AVENUE ONLY)
- F. SITE USE EXISTING: COLLEGE OF MUSIC COURTYARD
- G. SITE USE PROPOSED: MUSIC RECITAL HALL (ADDITION TO MUSIC I) & REVISED COURTYARD
- H. IMPERVIOUS CHANGE: 2,613 SF (0.06 AC.)
- I. PARKING REQUIREMENTS: PER UPD DISTRICT 5 ZONING, THE NUMBER OF SPACES TO BE PROVIDED SHALL BE DETERMINED BY HISTORICAL DEMAND FOR EACH CATEGORY OF PARKING USERS AND COMPUTED UTILIZING A FORMULA THAT SPECIFIES THE NUMBER OF SPACES TO BE PROVIDED FOR THE NUMBER OF PERSONS WITHIN A CATEGORY.
EXISTING PARKING: NONE (NO BUILDING/PARKING FACILITIES WITHIN SITE LOCATION)
PROPOSED PARKING: NO ADDITIONAL SPACES.
- J. SOILS INFORMATION: HcB - HAGERSTOWN SILTY CLAY LOAM (3 TO 8% SLOPES)

GENERAL NOTES

1. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON ABOVE-GROUND APPURTENANCES AND SUPPLEMENTAL INFORMATION SUPPLIED BY THE UTILITY PROVIDERS. NO LOCATION BY EXCAVATION WAS COMPLETED.
2. A PROJECT NARRATIVE HAS BEEN SUBMITTED AS PART OF THIS LAND DEVELOPMENT PLAN.
3. A PROJECT NARRATIVE HAS BEEN SUBMITTED AS PART OF THIS LAND DEVELOPMENT PLAN.
4. PROJECT BENCHMARK FOR THIS PROJECT IS A SSE CONTROL NAIL ("SSE CP1") LOCATED ON THE NORTHEAST SIDE OF THE SITE WITHIN A GRASS ISLAND ACROSS THE ROAD FROM THE SITE.
N: 000000.0000 / E: 0000000.0000 / ELEV: 0000.00
5. A ZONING PERMIT FOR THIS PROJECT WAS APPLIED FOR ON _____
6. THE CONTRACTOR SHALL PERFORM CONSTRUCTION STAKEOUT, INCLUDING LIMITS OF DISTURBANCE, AND CONFIRM ELEVATIONS AND SLOPES PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL INSTALL DELINEATION MARKINGS WITH CONSTRUCTION FENCE OR OTHER SUITABLE MATERIAL ALONG ALL LIMITS OF DISTURBANCE. NO EARTH DISTURBANCE (INCLUDING LAND CLEARING AND GRUBBING, GRADING, EXCAVATIONS, MOVING, DEPOSITING, STOCKPILING, OR STORING OF SOIL, ROCK OR EARTH MATERIALS) ARE TO TAKE PLACE OUTSIDE THE LIMITS OF DISTURBANCE. EARTH DISTURBANCE MUST REMAIN UNDER ONE ACRE FOR THIS PROJECT.

STORMWATER FACILITIES POST-CONSTRUCTION MAINTENANCE PROGRAM

The owner shall be responsible for ensuring the proper operation and function of the stormwater facilities located on the property. This plan includes the design and specifications of the associated Post-Construction Stormwater Management (PCSM) narrative. The operation and maintenance program shall include the following:

1. Stormwater facilities should be inspected by the land owner or the owner's designated responsible entity on the following basis:
 - A. Annually
 - B. During or immediately after every ten-year or greater storm event.
2. Documentation of inspections must be maintained by the owner and submitted to the Borough upon request. Maintenance inspections may be performed by the Borough to ensure proper functioning of all stormwater facilities.
3. The stormwater management facilities shall be kept free of debris and leaves.
4. The owner is responsible for maintaining the stormwater management in accordance with the approved design. If the Borough determines at any time that any permanent stormwater facility has been eliminated, altered or improperly maintained, the owner of the property shall be advised of corrective measures required and given 7 days to initiate appropriate action in accordance with a time schedule dictated by the Borough. If such action is not taken by the property owner, the Borough may cause the work to be done and charge all costs to the property owner.

DRAWING INDEX:

- C100 COVER SHEET AND LOCATION MAPS
- C101 EXISTING CONDITIONS
- C102 DEMOLITION PLAN
- C103 SITE PLAN
- C103.1 BID ALTERNATE
- C104 GRADING PLAN
- C105 LANDSCAPING PLAN
- C106 LIGHTING PLAN
- C107 EROSION & SEDIMENT CONTROL PLAN
- C107.1 EROSION & SEDIMENT CONTROL DETAILS
- C108 POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
- C108.1 POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
- C109 UTILITY PLAN
- C109.1 UTILITY DETAILS
- C110.1 CONSTRUCTION DETAILS
- C110.2 CONSTRUCTION DETAILS
- C110.3 CONSTRUCTION DETAILS

GENERAL NOTES:

- PROJECT SCOPE INCLUDES: CONSTRUCTION OF MUSIC RECITAL HALL BUILDING ADDITION, MUSIC 1 RENOVATIONS, SITE LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT.
- COORDINATE WORK AND SCHEDULE WITH RACHEL PRINKEY, PROJECT MANAGER AT 814-867-1536.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- WORK SITE SHALL BE PROTECTED AT ALL TIMES. BARRICADES, WARNING SIGNS, GUARDS, LIGHTS, ETC. SHALL BE ERECTED AS REQUIRED. NO TRENCHES OR EXCAVATIONS MAY REMAIN OPEN OVERNIGHT OR BE LEFT UNPROTECTED.
- ALL CONSTRUCTION AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF PENN D.O.T. PUBLICATION 408, THESE DRAWINGS, UNIVERSITY DESIGN AND CONSTRUCTION STANDARDS AND THE CONTRACT SPECIFICATIONS. WHERE THESE DOCUMENTS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
- ALL WORK RELATING TO THIS PROJECT SHALL BE SUBJECT TO ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS REGARDING OCCUPATIONAL SAFETY AND HEALTH, ENVIRONMENTAL PROTECTION, AND CONSTRUCTION STANDARDS. NOTHING CONTAINED IN THE SPECIFICATIONS OR THE DRAWINGS SHALL BE CONSTRUED TO CONFLICT WITH SUCH LAWS, CODES, ORDINANCES, OR REGULATIONS, AND IN THE EVENT OF SUCH CONFLICT ANY REQUIREMENT IMPOSED BY LAW, ORDINANCE, OR REGULATION SHALL BE DEEMED CONTROLLING.
- CONTRACTOR SHALL NOT DISTURB ANY GROUND BEYOND THE IMMEDIATE AREA REQUIRED FOR THE EX. DEMOLITION AND THE NEW CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXCAVATION, DISTURBANCE AND COMPACTION WITHIN THE IMMEDIATE CONSTRUCTION AREA TO PROTECT EXISTING ROOT SYSTEMS OF TREES.
- ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.
- COORDINATE TREE PROTECTION AND SITE RESTORATION WITH DEREK KALP, UNIVERSITY LANDSCAPE ARCHITECT, 814-863-8740. ALL TURF AND LANDSCAPE AREAS COMPACTED OR DAMAGED DURING CONSTRUCTION SHALL BE CORRECTED THROUGH EXCAVATION, ROTO-TILLING, AERATION, OR OTHER APPROVED METHODS TO THE SATISFACTION OF TOM FLYNN, UNIVERSITY LANDSCAPE ARCHITECT, 863-4531 OR 777-4531.
- ALL EXISTING CURBING, SIDEWALK, ETC. THAT IS NOT SPECIFIED FOR REPLACEMENT SHALL BE PROTECTED DURING CONSTRUCTION (SPECIFICALLY, CONSTRUCTION VEHICLES ENTERING THE SITE).
- ALL EXISTING CONCRETE AND BITUMINOUS AREAS SHALL BE SAW-CUT AT THE PROJECT LIMITS. NEW WORK SHALL BE SMOOTHLY TRANSITIONED INTO EXISTING FEATURES.
- ALL EXISTING CONCRETE CURBS AND GUTTERS TO REMAIN SHALL BE SAW CUT AT THE LIMIT OF CONSTRUCTION. SEAL ALL JOINTS WITH AC-20.

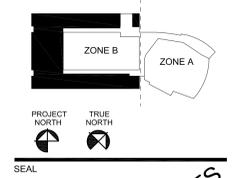
- NO UTILITIES, OTHER THAN THOSE INDICATED, SHALL BE INTERRUPTED OR DISTURBED FOR THIS PROJECT.
- CONTACT THE OFFICE OF PHYSICAL PLANT SHOULD UNEXPECTED EXISTING UNDERGROUND UTILITIES BE ENCOUNTERED.
- ADJUST ELEVATION OF ALL EXISTING MANHOLE COVERS, VALVES BOXES, GRATES, JUNCTION BOXES, ETC. TO ACCOMMODATE NEW FINISHED GRADE.
- EACH NEW STORM DRAIN TRENCH SHALL BE EXCAVATED IN ITS ENTIRETY BEFORE ANY PIPE IS INSTALLED TO ENSURE THE SLOPES AND GRADES SHOWN ON THE DRAWINGS CAN BE ACHIEVED. IF UTILITY INTERFERENCE OCCURS, CONTACT PROJECT ENGINEER OR OFFICE OF PHYSICAL PLANT FOR REVISED INFORMATION.
- DIGITAL AS-BUILT SURVEYS (IN AUTOCAD, USING PENNSYLVANIA STATE PLANE NAD 83) OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDING, BUT NOT LIMITED TO, SURFACE PONDS, UNDERGROUND DETENTION FACILITIES, BMP's, CONVEYANCE PIPES, MANHOLES, AND INLETS WILL BE PROVIDED TO THE UNIVERSITY. RED LINE MARK-UPS ARE NOT ACCEPTABLE.
- DIGITAL AS-BUILT SURVEYS (IN AUTOCAD, USING PENNSYLVANIA STATE PLANE NAD 83) OF ALL NEW WORK, GRADES, UTILITY CONFLICTS, AND ANY DISCREPANCIES BETWEEN FIELD AND DESIGN DOCUMENTS WILL BE PROVIDED TO THE UNIVERSITY. RED LINE MARK-UPS ALONE ARE NOT ACCEPTABLE.
- COMPACT EACH LAYER TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION INDICATED BELOW. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. SEE ENGINEER FOR COMPLETE SPECIFICATIONS.
PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS: COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D 1557 (MODIFIED PROCTOR):
A. UNDER STRUCTURES, BUILDING SLABS AND STEPS, COMPACT TOP 12 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
B. UNDER LAWN OR UNPAVED AREAS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.
C. UNDER WALKWAYS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
- FURNISH BACKFILL AND FILL SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION; DEBRIS; WASTE; FROZEN MATERIALS; VEGETATION; AND OTHER DELETERIOUS MATTER. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
- ALL EXCAVATION IS UNCLASSIFIED AND INCLUDES (WITHOUT LIMITATION THERETO) THE EXCAVATION AND REMOVAL OF ALL SOIL, SHALE, ROCK OR ROCK FORMATIONS, BOULDERS, EXISTING FOUNDATIONS, FILL, AND ANY TYPE OF SUBSURFACE CONDITION ENCOUNTERED IN THE CONTRACT AREA. NO CLAIMS FOR EXTRA COMPENSATION OR EXTENSION OF CONTRACT TIME BECAUSE OF THE NATURE OF SUBSURFACE CONDITIONS ENCOUNTERED WILL BE CONSIDERED.
- THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING THE GUIDELINES PRESENTED IN FEDERAL REGISTER, VOLUME 54, NO. 209 (OCTOBER 1989), THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SECTION TITLED "CONSTRUCTION STANDARDS FOR EXCAVATION, 29 CFR, PART 1926, SUBPART P."

SHEET NOTES

LEGEND

**STAHL SHEAFFER
ENGINEERING**

KEY PLAN



**PROGRESS PRINTS
NOT FOR
CONSTRUCTION**

**Bostwick
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Partnership**

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3011 West 7th Street, Suite 100, PA 15260 • (412) 628-7500
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BDP NO. 15115

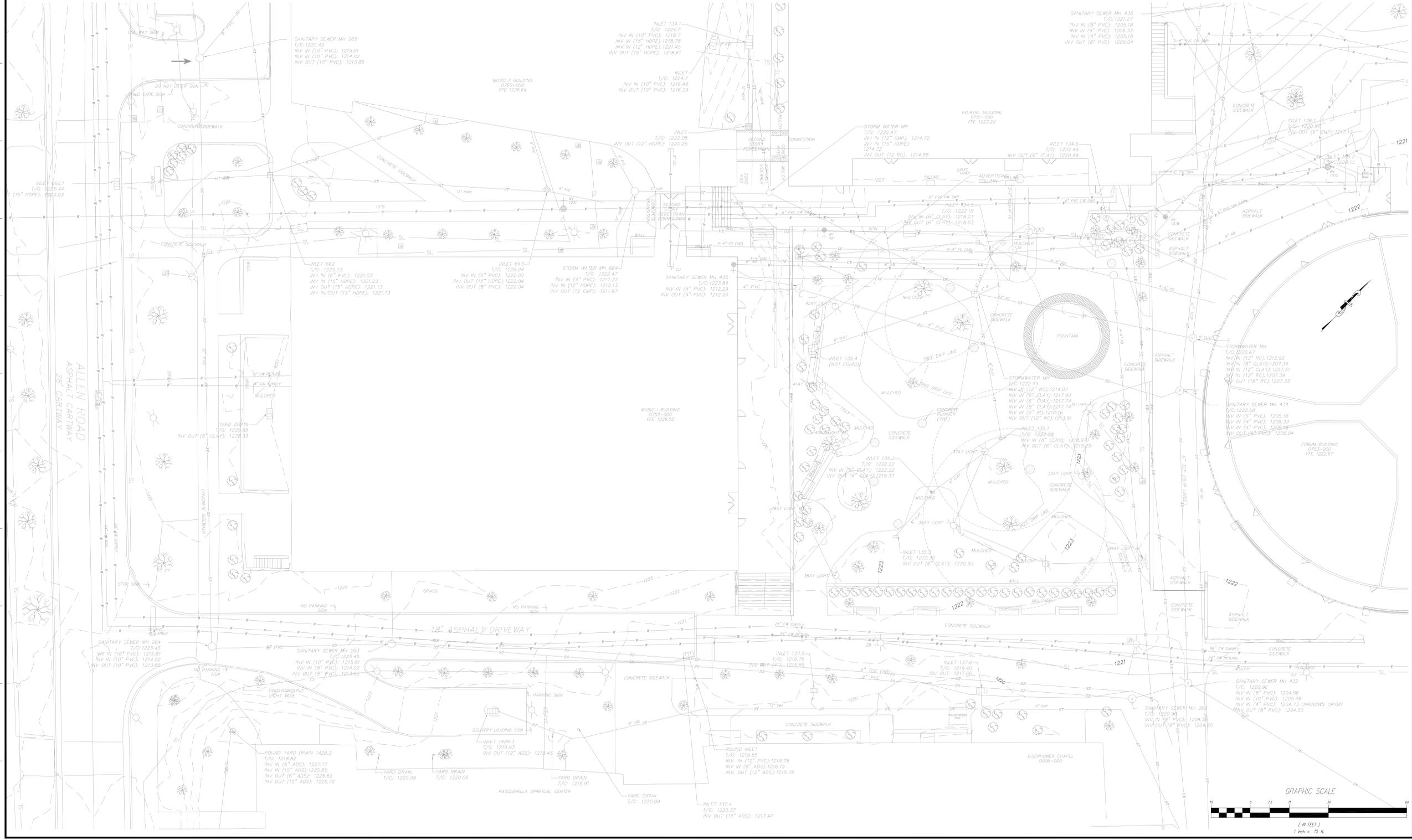
PENN STATE

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MUSIC I RENOVATION**

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90% SCHEMATIC DESIGN	11 APRIL 2016
100% SCHEMATIC DESIGN	18 APRIL 2016
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**EXISTING CONDITIONS
PLAN**

SHEET NO. **C101**

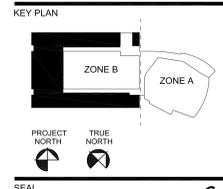


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**STAHL SHEAFFER
 ENGINEERING**



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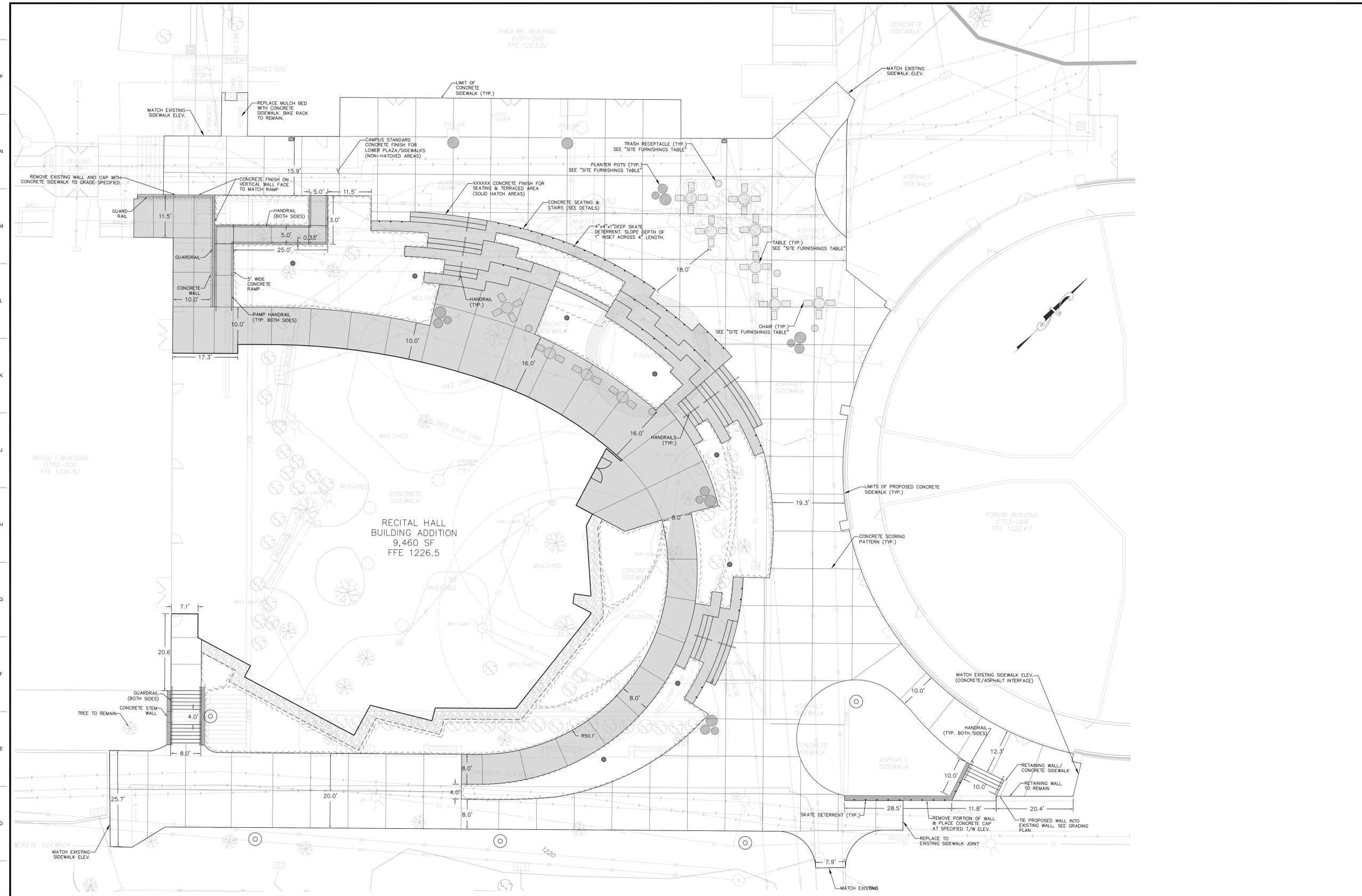
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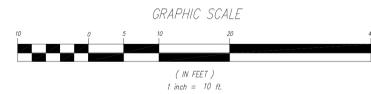
SITE PLAN

SHEET NO. **C103**

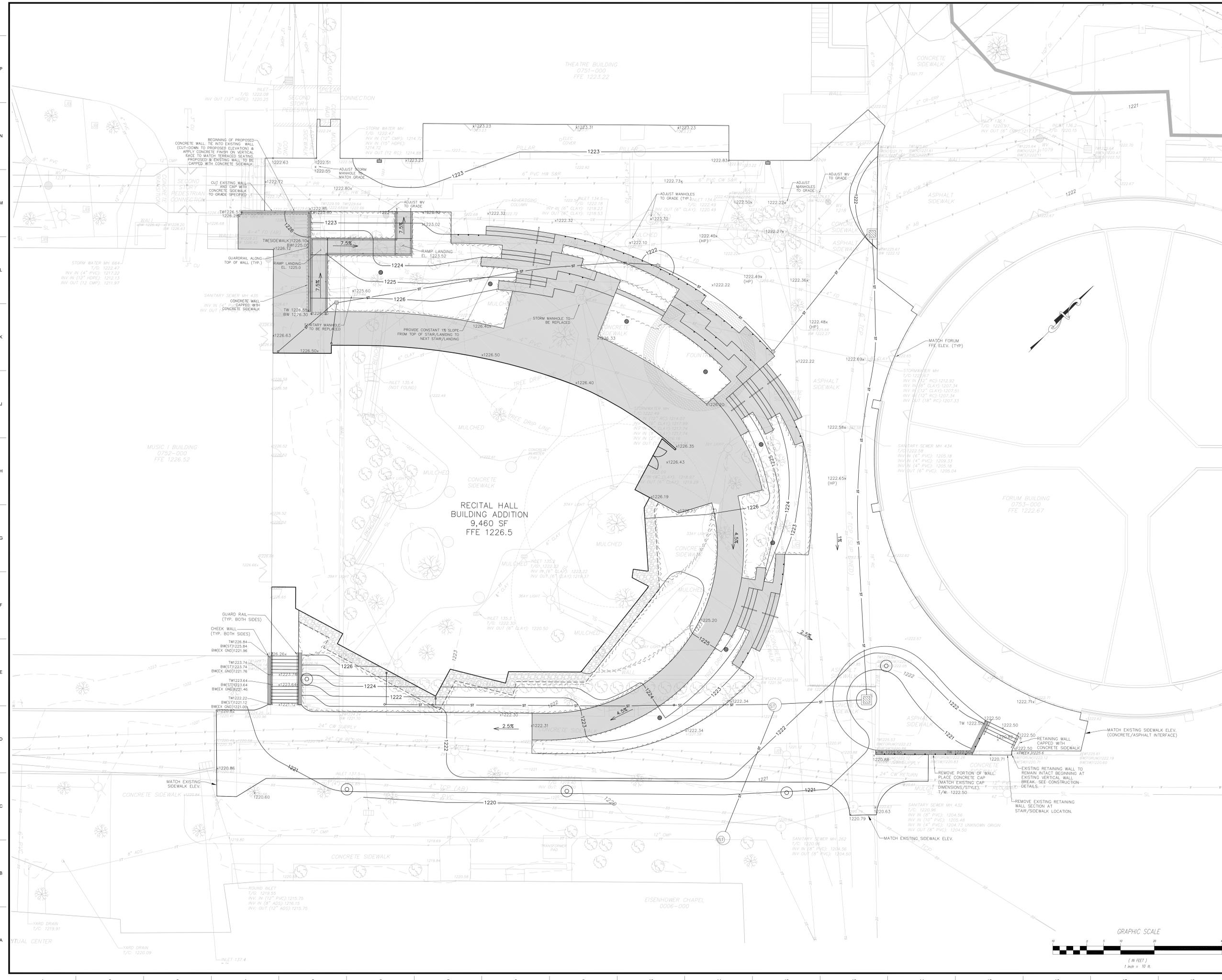


SITE FURNISHINGS TABLE

TYPE	VENDOR	MODEL	QUANTITY	NOTES
TABLE	LANDSCAPE FORMS	CHIPMAN	11	36" DINING, SILVER POWDERCOAT FINISH
CHAIR	LANDSCAPE FORMS	CHIPMAN	38	ARMED CHAIR, SILVER POWDERCOAT FINISH
RECEPTACLE	KEYSTONE RIDGE	MIDTOWN #MT3D-32 #LID32(LID)	5	32 GAL W/ LID, SIDE DOOR, ELEVATED LEGS, ELEVATED LID, GLOSS BLACK POWDERCOAT
PLANTERS	KORNEGAY DESIGNS	FACETED SERIES #FS-12	5	12" HT X 30" DIA (MATCH BUILDING PRECAST COLOR)
		FACETED SERIES #FS-18	5	18" HT X 24" DIA (MATCH BUILDING PRECAST COLOR)
		FACETED SERIES #FS-24	7	24" HT X 36" DIA (MATCH BUILDING PRECAST COLOR)

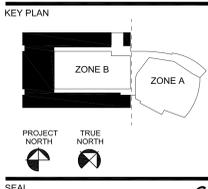


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SHEET NOTES

LEGEND



PROGRESS PRINTS
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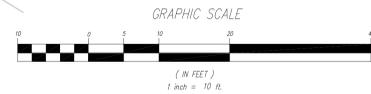
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GRADING PLAN

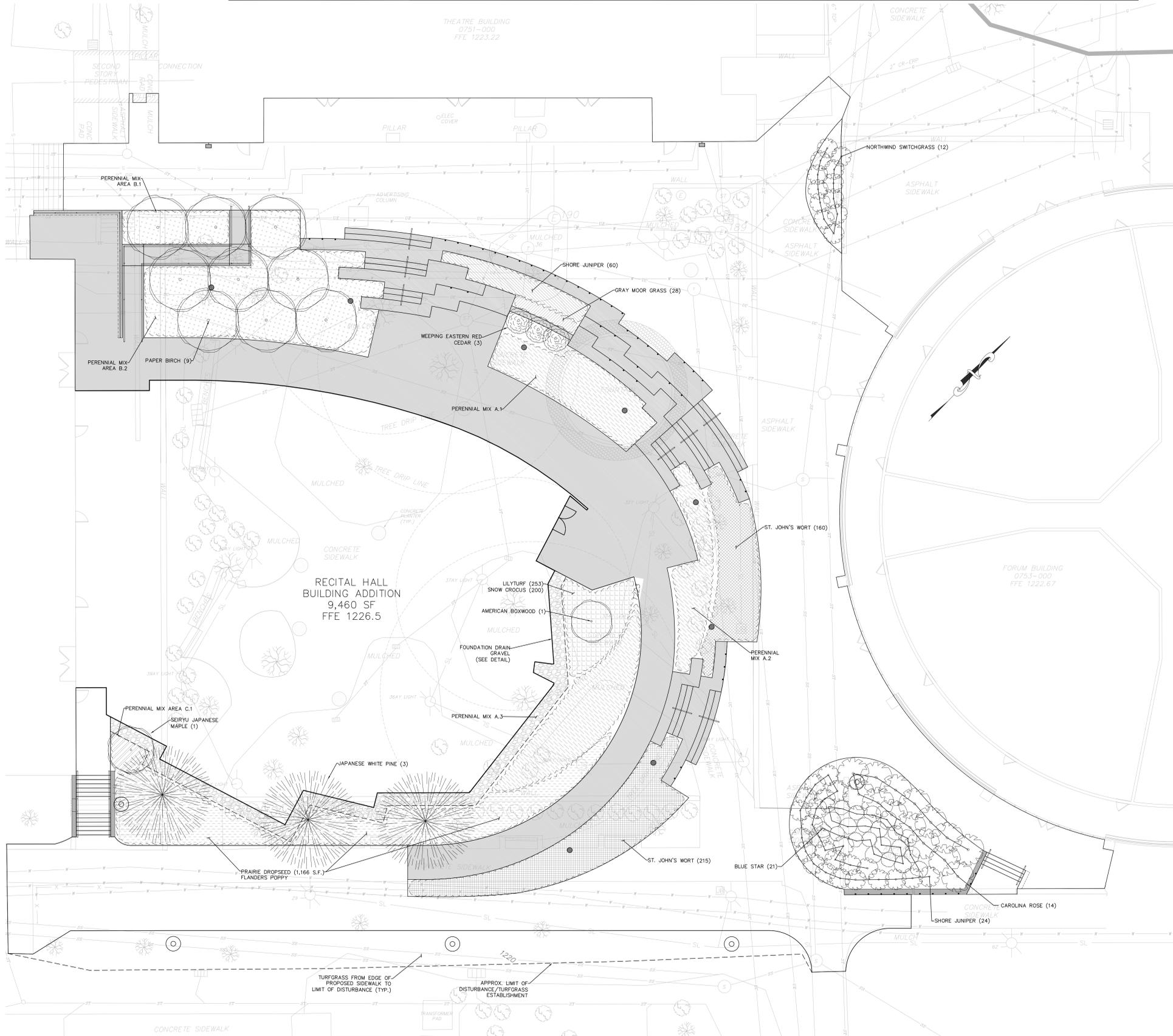
SHEET NO. C104

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MASTER LANDSCAPING LEGEND					
TREES					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	1	2" CAL.	-	SPECIMEN
BETULA Papyrifera	PAPER BIRCH	9	2" CAL.	-	MATCHING
JUNIPERUS VIRGINIANA 'PENDULA'	WEeping EASTERN RED CEDAR	3	36"	-	SPECIMEN
PINUS PARVIFLORA (GLAUCA GROUP)	JAPANESE WHITE PINE	3	8"	-	SPECIMEN
SHRUBS					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
BUXUS SEMPERVIRENS	AMERICAN BOXWOOD	1	8"	-	SPECIMEN
HYPERICUM CALYCONUM	ST. JOHN'S WORT	375	#1 POT	18" O.C.	
JUNIPERUS CONFERTA 'BLUE MIST'	SHORE JUNIPER	60	#3 POT	18" O.C.	BID ALT. DEDUCT (24)
JUNIPERUS VIRGINIANA 'GREY OWL'	PROSTRATE EASTERN RED CEDAR	24	#3 POT	3' O.C.	
ROSA CAROLINA	CAROLINA ROSE	14	#3 POT	5' O.C.	BID ALT. DEDUCT (15)
PERENNIALS/GRASSES/GROUNDCOVERS					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
ALLIUM	SUMMER BEAUTY	78	QUART	15" O.C.	
AMSONIA HUBRICHTII	BLUE STAR	138	#1 POT	15" O.C.	BID ALT. DEDUCT (21)
CAREX APPALACHICA	APPALACHIAN SEDGE	297	QUART	15" O.C.	
CROCUS TOMMASIANUS	SNOW CROCUS	200	BULB	10 CLUSTERS OF 5 ON 3" CENTERS	
CROCUS VERNUS	SPRING CROCUS	50	BULB	10 CLUSTERS OF 5 ON 3" CENTERS	
EURYBIA DIVARICATA	WHITE WOOD ASTER	74	QUART	15" O.C.	
HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	37	QUART	15" O.C.	
HOSTA 'HALYCON'	HALYCON HOSTA	24	QUART	15" O.C.	
LIRIOPE MUSCARI 'BIG BLUE'	LILYTURF	253	QUART	12" O.C.	
PACKERA AUREA	GOLDEN RAGWORT	74	QUART	15" O.C.	
PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	12	#1 POT	15" O.C.	BID ALT. ADD (16)
PAPAYER RHOEAS	FLANDERS POPPY	N/A	N/A	SEEDING RATE: 1-2 PLS LBS/AC	
GERANIUM MACULATUM 'ESPRESSO'	ESPRESSO WILD GERANIUM	75	QUART	15" O.C.	
GERANIUM 'ROZANNE'	ROZANNE GERANIUM	78	QUART	15" O.C.	
POLYSTICHUM ACROSTICHODES	CHRISTMAS FERN	148	QUART	15" O.C.	
SALVIA 'CARADONNA'	COMMON SAGE	78	QUART	15" O.C.	
SESLERIA NITIDA	GRAY MOOR GRASS	28	#1 POT	12" O.C.	
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	5	QUART	12" O.C.	
STACHYS 'HUMMELO'	BETONY	117	QUART	15" O.C.	
UVULARIA GRANDIFLORA	BELLWORT	74	QUART	15" O.C.	

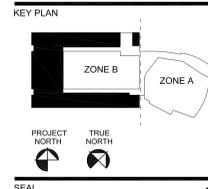
PERENNIAL MIX TABLE																								
AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	
A	SESLERIA AUTUMNALIS	15" CENTERS	40%	A.1	120	A.2	61	A.3	135	B	CAREX APPALACHICA	15" CENTERS	40%	B.1	45	B.2	258	C	HAKONECHLOA MACRA "ALL GOLD"	15" CENTERS	60%	C.1	37	
	AMSONIA "BLUE STAR"		15%		45		22		50		POLYSTICHUM ACROSTICHODES		20%		22		129		HOSTA "HALYCON"		40%		24	
	ALLIUM "SUMMER BEAUTY"		10%		30		15		33		GERANIUM MACULATUM "ESPRESSO"		10%		11		64		SPRING BULB: CROCUS TOMMASIANUS		10 CLUSTERS OF 5 ON 3" CENTERS		50	50
	STACHYS "HUMMELO"		15%		45		22		50		PACKERA AUREA		10%		11		64							
	SALVIA "CARADONNA"		10%		30		15		33		UVULARIA GRANDIFLORA		10%		11		64							
	GERANIUM "ROZANNE"		10%		30		15		33		EURYBIA DIVARICATA		10%		11		64							



NOTE: ALL PLANTING AREAS SHALL BE AT THE DISCRETION OF THE PSU LANDSCAPE ARCHITECT. MASTER LANDSCAPING LEGEND REFLECTS TOTALS OF QUANTITIES. DO NOT INCLUDE PERENNIAL MIX TABLE TOTALS WHEN PLANNING, ORDERING, OR PLANTING.

SHEET NOTES

LEGEND



PROGRESS PRINTS
NOT FOR CONSTRUCTION

Bostwick Design Partnership
2728 Prospect Avenue, Cleveland, OH 44115 • (216) 621-7900
2011 West 7th Street, Suite 100, PA 15201 • (412) 628-7552
400 5th Avenue, Fort Lauderdale, FL 33301 • (954) 362-7598
www.bostwickdesign.com

BDF NO. 15115
PENN STATE
RECITAL HALL & MUSIC I RENOVATION

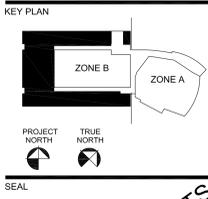
ISSUED/REVISED FOR	DATE
90% SCHEMATIC DESIGN	11 APRIL 2016
100% SCHEMATIC DESIGN	18 APRIL 2016
100% DESIGN DEVELOPMENT	29 AUGUST 2016
50% CONSTRUCTION DOCUMENTS	28 NOV 2016

LANDSCAPING PLAN

SHEET NOTES

LEGEND

STAHL SHEAFFER
 ENGINEERING



PROGRESS PRINTS
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 CONSTRUCTION

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2729 Prospect Avenue - Cleveland, OH 44115 - (216) 821-7901
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PENN STATE

RECITAL HALL &
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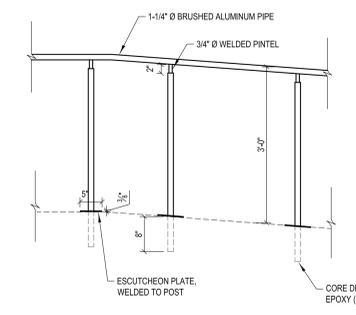
CONSTRUCTION
 DETAILS

SHEET NO. C110.1

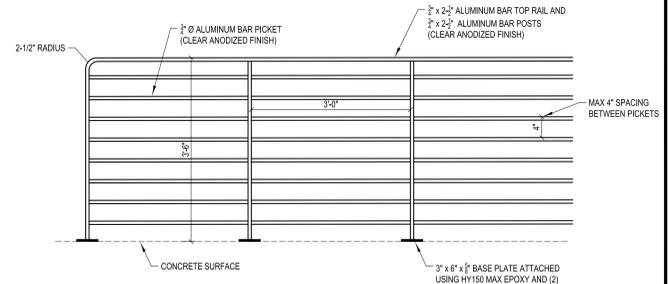
- NOTES:
- CONCRETE MIX SHALL INCLUDE FIBERESH 300 SYNTHETIC FIBER BY PROPEX OPERATING COMPANY (OR EQUIVALENT) WITH A DOSING RATE OF 1.5 POUNDS PER CUBIC YARD OF CONCRETE.
 - ALL RISERS SHALL BE EQUAL DIMENSION, RISER FROM BOTTOM LANDING (GRADE) TO FIRST STEP SHALL BE WITHIN 1" OF REMAINING RISERS.
 - COAT ALL EXPOSED CONCRETE WITH EUCLID EVERCLEAR TB PENETRATING SEALANT AFTER CONCRETE IS CURED.
 - STAIR TREADS TO BE TROWEL SMOOTH AND NOSINGS ROUNDED OVER (MAXIMUM 8" RADIUS). MIX EUCLID EUCODRIP POLYMER GRIP ADDITIVE INTO SEALER DURING APPLICATION TO STAIR TREADS TO CREATE ANTI-SLIP COATING.
 - ALL OTHER EXPOSED EDGES SHALL HAVE 1/2" ROUND-OVER OR 1/2" CHAMFERED PROFILE.
 - PINTEL-STYLE HANDRAIL SHALL BE INSTALLED FOR ANY INNER HANDRAIL POST AS SHOWN IN THE DETAIL.

ALUMINUM NOTES:

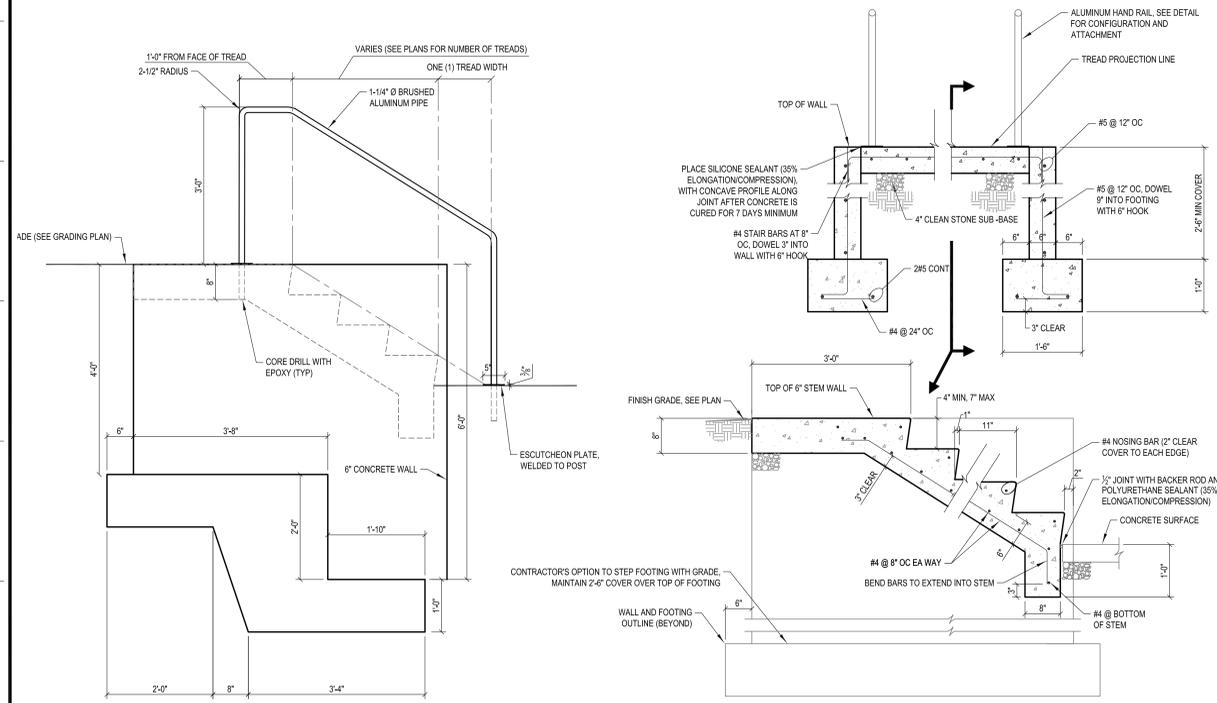
- THE WORK UNDER THIS SECTION INCLUDES THE FABRICATION AND ERECTION OF STRUCTURAL ALUMINUM, UNLESS OTHERWISE SPECIFIED. ALL MATERIALS, WORKMANSHIP AND PRACTICES SHALL CONFORM TO THE STANDARDS OF THE ALUMINUM CONSTRUCTION MANUAL, LATEST EDITION, BY THE ALUMINUM ASSOCIATION.
- MATERIALS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - STRUCTURAL SHAPES (I-BEAMS, H-BEAMS, CHANNELS, ANGLES, TEES AND ZEES) AND BARS: SHALL CONFORM TO ASTM B308/B308M-95a AND SHALL BE ALUMINUM ASSOCIATION (AA) DESIGNATION 6061-T6 ALLOY OR AS OTHERWISE SPECIFIED.
 - PIPE: RODS, BARS, STRUCTURAL TUBES, ETC., NOT COVERED UNDER ASTM B308 SHALL CONFORM TO ASTM B221-95a. PIPE SHALL BE AA DESIGNATION 6061-T6 ALLOY, SCHEDULE 40 MINIMUM, UNLESS OTHERWISE SPECIFICALLY INDICATED HEREIN OR SHOWN ON THE PLANS.
 - EXTRUDED ALUMINUM: ASTM B 308, ALLOY 6063-T42.
 - DO NOT FLAME CUT ALUMINUM ALLOYS.
 - ALL CONNECTIONS SHALL BE SHOP WELDED PRIOR TO ANNOZING.
 - WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.2, "STRUCTURAL WELDING CODE-ALUMINUM" USING GAS METAL ARC (MIG) OR GAS TUNGSTEN ARC (TIG) PROCESS (DO NOT USE WELDING FLUX).
 - FILLER METAL: ALUMINUM ALLOYS CONFORMING TO THE REQUIREMENTS OF AWS A5.10, ER 5356.
 - PERFORM WELDING OF STRUCTURES WHICH ARE TO BE ANNOZED USING FILLER ALLOYS WHICH WILL NOT DISCOLOR WHEN ANNOZED, AWS ER 5654, ER 5554, ER 5183, ER 5356, ER 5556.
 - WHERE WELD MATERIAL INTERFERES WITH FIT, IS UNSIGHTLY IN APPEARANCE, OR IS USED AS A GRIPPING SURFACE, GRIND IT SMOOTH.
 - MAKE WELDS FULL PENETRATION WELDS UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL WELDS SHALL BE FULL LENGTH OF INDICATED EDGE UNLESS NOTED OTHERWISE.
- FINISHES AND PROTECTION
 - ALUMINUM SHALL BE BRUSHED ALUMINUM.
 - NO PAINTING OF ALUMINUM IS REQUIRED.
 - SURFACES IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A HEAVY COATING OF BITUMASTIC 300M, AS MANUFACTURED BY KOP-KOAT, INC. OR APPROVED EQUAL. APPLY PER MANUFACTURERS SPECIFICATIONS. ALTERNATELY, A NEOPRENE BEARING PAD MAY BE PROVIDED BETWEEN THE SURFACES IN LIEU OF A PROTECTIVE COATING.



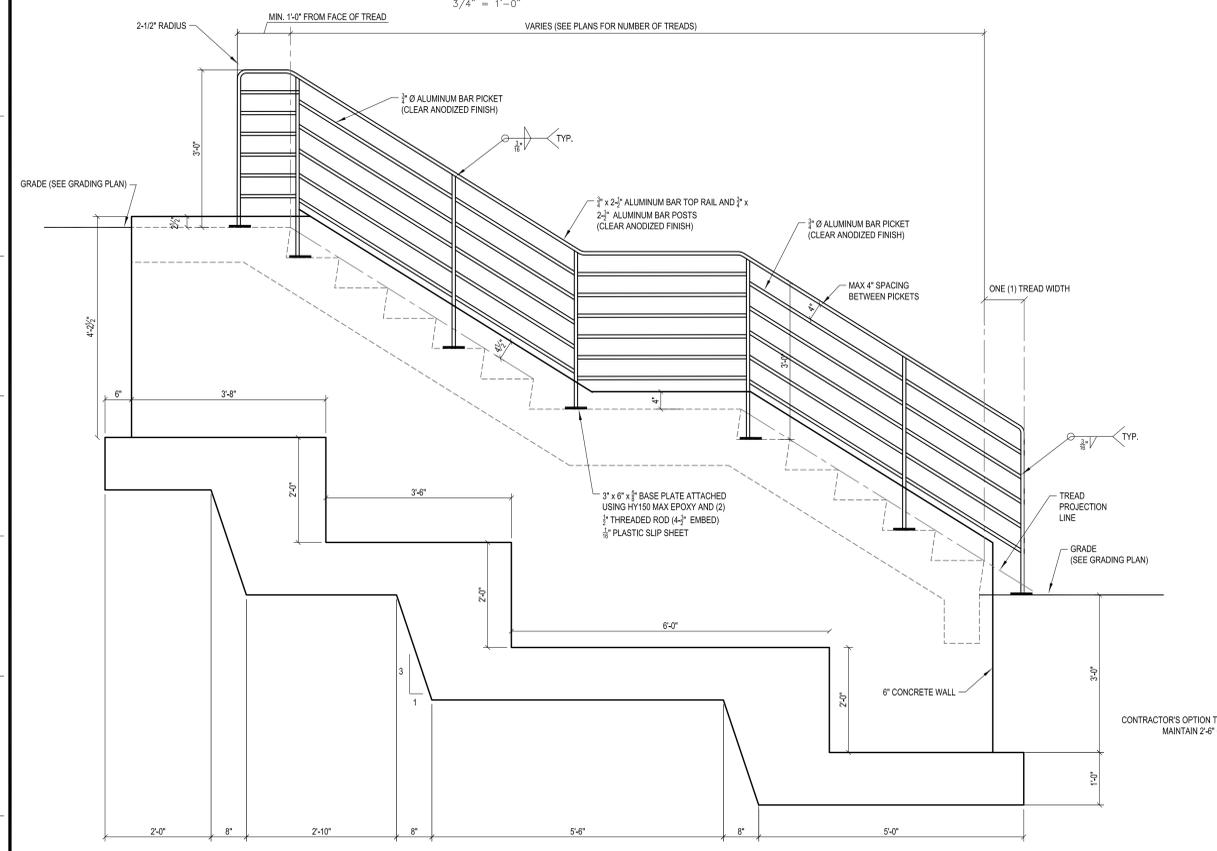
EXTERIOR HAND RAIL (RAMP)
 3/4" = 1'-0"



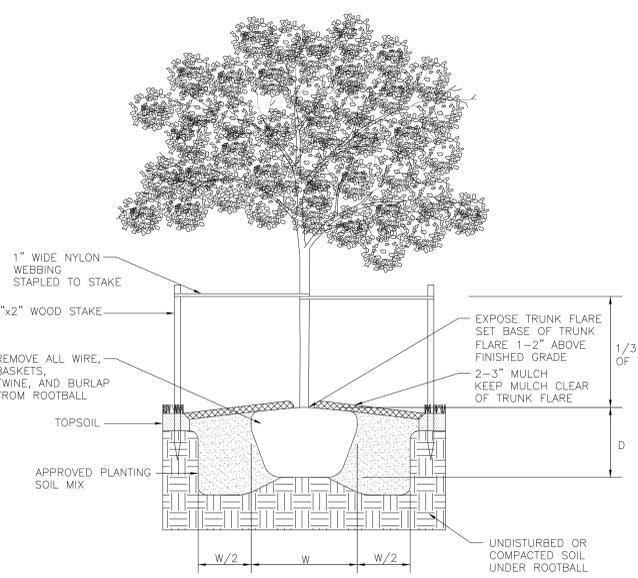
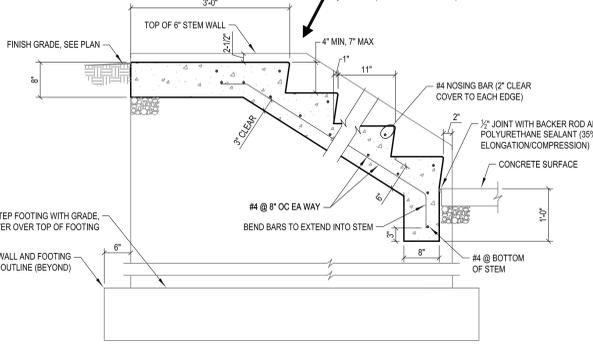
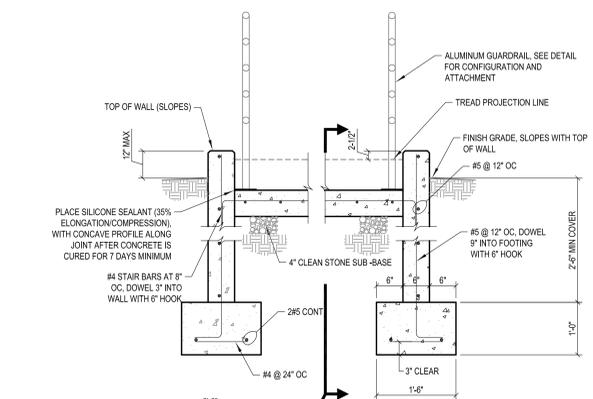
EXTERIOR GUARDRAIL (FLAT SURFACE)
 3/4" = 1'-0"



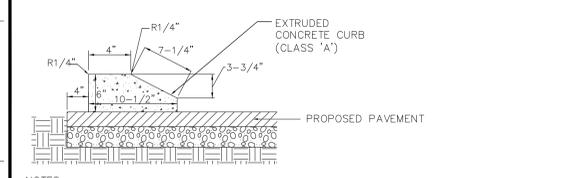
EXTERIOR HAND RAIL WITH STEM WALL
 3/4" = 1'-0"



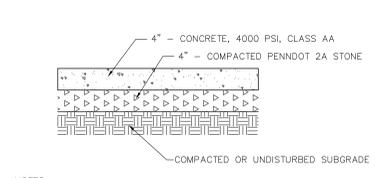
EXTERIOR STAIR & GUARDRAIL
 3/4" = 1'-0"



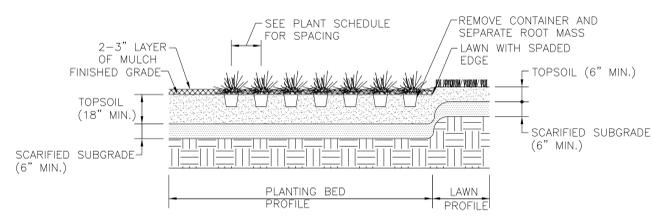
W=WIDTH OF ROOTBALL
 D= DEPTH OF ROOTBALL FROM BASE OF TRUNK FLARE
 TREE PLANTING AND GUYING
 N.T.S.



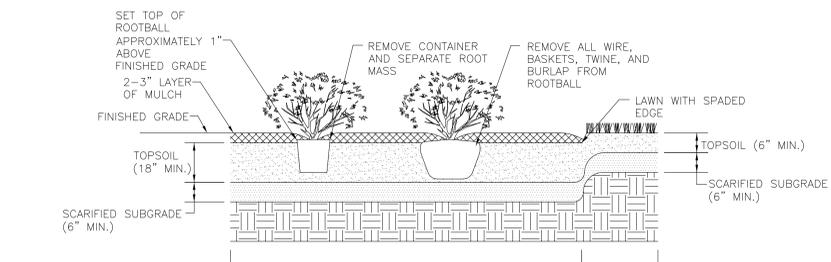
PLAIN CEMENT CONCRETE CURB
 N.T.S.



CONCRETE SIDEWALK
 N.T.S.



UNIFORM PLANTING DETAIL FOR
 CONTAINER GROWN PERENNIALS
 N.T.S.



PLANTING FOR BALLED & BURLAPPED
 OR CONTAINER GROWN SHRUBS
 N.T.S.

- NOTES:
- THOROUGHLY CLEAN PAVEMENT AND APPLY ASPHALT ADHESIVE TACK COAT PRIOR TO PLACING CONCRETE CURB.
 - CONTRACTION JOINTS SHALL BE PLACED EVERY 10' MAXIMUM, 4' MINIMUM.
 - EXPANSION JOINT MATERIAL (3/4" PREMOLDED) SHALL BE CUT TO CONFORM TO THE CROSS-SECTIONAL AREA AND PLACED AT STRUCTURES AND AT THE END OF THE DAY'S WORK.

- NOTES:
- PROVIDE TRANSVERSE ASPHALT TYPE EXPANSION JOINTS PER SCORING PATTERN SHOWN ON PLAN, MAX. 20' SPACING.
 - ALL JOINTS SHALL BE TOOLED (NO SAW CUT JOINTS)

4/21/2016 9:38:40 AM





State College Borough Council Policy Briefing Summary

Date Prepared: December 16, 2016
Prepared By: Planning Staff
Proposed Meeting Date: To Be Determined
Deadline for Action: To Be Determined

I. Request/Issue Needing Council Action

Review the current geographic location of the “non-owner-occupied housing” section of the Signature Development Project overlay in the Commercial Incentive District (CID).

As illustrated by the graphic attached to this memo, the Downtown Master Plan identified three themes that characterize downtown. The plan titled them: 1) *Traditional Downtown*, 2) *Collegiate District* and 3) *West End*. For new development, each area is suggested to have its own land use pattern that mimics and enhances the character and use of the current development. Based on recent review of the themes, Planning staff determined that a conflict exists within the *Traditional Downtown* and the “non owner-occupied housing” section of the Signature Development Project location. Using the Downtown Master Plan document as guidance, the *Traditional Downtown* is to provide for a variety of housing for a variety of demographics and not predominately undergraduate housing. Instead, the plan indicates that the *Collegiate District* (located west of McAllister Alley) is the preferred location for undergraduate housing. The “non owner-occupied housing” section of the ordinance provides significant residential density for market-rate housing. In downtown State College, market-rate housing is predominantly occupied by undergraduate students.

II. Current Policy and/ or Practice The current location of the Signature Development Project is in specific areas of the downtown as noted in the graphic attached to this memo.

The ordinance requires a set of criteria to be met for a Signature Development Project to proceed through a conditional use permit process approved by Borough Council.

The “non-owner-occupied” section of the Signature Development Project allows developments within this overlay to have a residential floor-area ration (FAR) of 5 when the required Conditional Use permit is granted by Borough Council.

III. Other Background Information

The Commercial Incentive District (CID) was enacted in 2005. The original Signature Development project overlay was also enacted in 2005. Since that time Council has made several amendments to the zoning language for the Signature Development project overlay.

On February 11, 2013, Council received a presentation on the proposed redevelopment of properties at the intersection of the South Atherton Street and West College Avenue. The properties were and are zoned Commercial Incentive (CID).

A request made by the owner indicated that amendments would be necessary to the ordinance to accommodate the proposed mix of uses so that future development at this location would be at a density sufficient to justify the costs of the development. Two modifications to the site’s current zoning were proposed: 1) increasing the permitted maximum building height and 2) increasing permitted rental residential floor-area ratio (FAR). In simple terms, FAR standards set

the amount of usable square-footage (either residential or non-residential) in a building in relationship to the size of the lot. Council received the request and referred this request to the Planning Commission.

The Planning Commission reviewed this request during five meetings. Borough Council received the amendment request in June of 2013. A draft text amendment was developed that did the following:

- Increased the allowable residential rental FAR from 2.0 to 5.0 and reduced the commercial requirements from 40 percent of the building to 1.0 FAR when certain criteria are met (marketing plan, long term management plan, limit 60% of units to 4 or more bedrooms, limit occupancy to 2-person per bedroom, no more than 5 persons per unit, provide gathering space, access management for building)
- allowed for a taller first floor ceiling height that would not number increase the number of stories
- expand the façade options and include review by the Design Review Board
- limit building height to 12 stories and 145 feet (note a separate ordinance amendment allows for 155 feet in a more limited area of the CID Signature Development Project provisions)

Council held a hearing and then enacted the ordinance in August of 2013. Since that time one project has been developed that assembled three parcels to create the development known as the Metropolitan. It is important to note the boundaries of the Signature Development Project permission were not altered because of this ordinance nor was the requirements that a project is eligible only when the lot is 30,000 square feet or larger. Attached to this information is a map showing where the Signature Development project can occur as long as the criteria is met through the conditional use process.

IV. Financial Impact on Budget

There is no direct financial impact on the budget due to this amendment.

V. Board, Commission or Agency Review

No significant reviews by Planning Commission has occurred to date. Time was spent as part of a 2017 Work Program discussion to review the Downtown Master Plan and the location of the Signature Development Project as a possible item for consideration in 2017. This item will be included in a January 2017 Planning Commission agenda.

VI. Staff Recommendation and Reason

Staff recommends Borough Council consider this information and direct staff on how to proceed. Borough Council may refer this to Planning Commission for their review and recommendation.

③ Atherton East



Atherton East

This site is comprised of multiple properties along College Avenue, just east of Atherton Street. While these properties are currently occupied by viable uses, they present a long-term opportunity for coordinated mixed-use development of a “signature” project at this important intersection. While these properties could be developed individually, this is one of the few sites downtown where coordinated development would allow for the integration of multiple levels of parking above first floor retail uses. Potential for the property includes graduate student housing, non-student housing, PSU faculty and employee housing, retail uses and office space (should there be a market). The model views show various scenarios of how the site could develop under existing zoning classifications including the CID district (student

housing at 2.0 residential FAR), CID district (non-student housing at 3.0 residential FAR) and “Signature Development” overlay with a site FAR of 8.0 (and 3.0 residential FAR). The site could also be developed with less intensive development that is 2-4 stories in height. Regardless of the development intensity, an appropriately-scaled first floor is critical to activate College Avenue and reinforce connections across Atherton Street to the West End.

Building Use

- Commercial
- Residential
- Office
- Hotel

Below: Model views showing potential redevelopment scenarios of “Atherton East”:

Top: Using base CID district criteria

Middle: CID district with bonuses

Bottom: Using existing signature development criteria

