

Meeting Agenda
State College Borough Design Review Board
September 20, 2016
Room 241 / 10 a.m.

- I. Call To Order**
- II. Roll Call**
- III. Approval Of Minutes**
- IV. Chair Report**
- V. Public Hour**
- VI. Land Development Plan**
 - A. Final Plan Building Entrance Addition To Nursing Sciences Building, UPD Sub District 5 Zoning District, The Pennsylvania State University, Owner Reuther+Bowen, Engineer, Kimmel Bogrette Architecture + Site, Architect
 - B. Preliminary Plan New Residential Dormitory, UPD Sub District 5 Zoning District, The Pennsylvania State University (PSU), Owner Sweetland Engineering, Engineer, Mackley Mitchell, Architect
- VII. Official Reports And Correspondence**
- VIII. Adjournment**

Documents:

Complete Design Review Agenda - September 20, 2016.pdf

**Meeting Agenda
State College Borough Design Review Board
September 20, 2016
Room 241 / 10 a.m.**

I. Call to Order

II. Roll Call

Richard Bryant, Chair
Richard Devon
Bond Reinhardt
Vacant
Vacant

III. Approval of Minutes – September 7, 2016

IV. Chair Report

V. Public Hour - Hearing of Citizens

VI. Land Development Plan

- A. Final Plan Building Entrance Addition to Nursing Sciences Building, UPD Sub District 5 Zoning District, The Pennsylvania State University, owner Reuther+Bowen, Engineer, Kimmel Bogrette Architecture + Site, Architect

The Nursing Sciences Building faces East College Avenue. The entrance proposed is 1,200 square feet that clearly distinguishes the main entrance of the building. The project also includes a reconfiguration of sidewalks and site grading and storm water management.

Attached to the agenda is an aerial view of the development site and select plan sheets on **pages 7-20**.

Design Review Board Action: The Board is asked to make recommendations on this final plan. A formal motion can be made to recommend approval of the plan.

- B. Preliminary Plan New Residential Dormitory, UPD Sub District 5 Zoning District, The Pennsylvania State University (PSU), owner Sweetland Engineering, Engineer, Mackley Mitchell, Architect

This project is located in the Borough and College Township and proposes to build a new Residence Hall and to renovate nine additional residence halls in the East Halls Residence complex. In addition to the building work, the project

will also involve reconfiguration of sidewalks, parking lots and the construction of a multi-sport court and volleyball court.

Based on a PSU press release, the original plan to phase work in East Halls for 12 years was accelerated to reduce it by three years and rearrange the building program to have the third residence hall building in the beginning of the overall timeline. It is anticipated the change in planning and construction will save the PSU money and provide student access to housing in a more efficient manner.

Link: <http://news.psu.edu/story/408886/2016/05/05/administration/trustees-ok-revised-capital-plan-assessment-save-money>

An aerial view and the plan set are attached to the agenda on **pages 21-50**.

Design Review Board Action: This is a preliminary plan review. The Board may make comments related to design and landscaping but comments are not required.

VII. Official Reports and Correspondence

- A. Work Program
- B. Borough Council
- C. Planning Commission

VIII. Adjournment

**Meeting Minutes
State College Borough Design Review Board
September 6, 2016**

The State College Borough Design Review Board (DRB) met on Tuesday, September 6, 2016 in the State College Borough Municipal Building, 243 South Allen Street in Room 241. Chairman Bryant called the meeting to order at 10:08 a.m.

Members Present

Richard Bryant, Chairman; Bond Reinhardt, Vice-Chairman and Richard Devon

Others Present

Anne Messner, Planner/Zoning Officer; Jenna Wargo, Planner; Alan Sam, Borough Arborist; Rich Francke, Tony Fruchtl, Janet Engeman, and Sarah Smith, Staff Assistant.

Approval of Minutes

A motion was made by Mr. Reinhardt and seconded by Mr. Devon to approve the August 16, 2016 minutes as submitted. The vote was unanimously in favor.

Chair Report

Chairman Bryant had nothing to report.

Public Hour

No one in the audience wished to discuss items not on the agenda.

Sign

Replacement Signs, Gunn-Mowery Office, 718 Bellaire Avenue, CP2 Zoning District

Ms. Messner explained that Gunn Mowery had moved and the sign had been approved previously at the previous location.

The Board's comments/questions included:

- Requested the address be included.
- Move text up slightly to facilitate view by delivery people.

Mr. Reinhardt made a motion to approve the sign with the Board's comments and Mr. Devon seconded the motion. The vote was unanimously in favor.

Land Development Plan

Preliminary/Final Plan, Hamilton Square Shopping Center, CP3 Zoning District, University Park Plaza Corporation, PennTerra Engineering, Inc. Engineer.

Mr. Franke's highlights included:

- 17 parking spaces behind the plaza.
- In conjunction with the new Bastian Tire building.
- The impervious surface would be reduced by a small amount.
- Stormwater patterns would remain the same.
- The buffering around the edges would remain consistent with the current buffering.
- Improves the location for the handicapped spaces with 1 space right in front and creates a shorter route for access.
- Includes 1 additional light in the center aisle.
- Meets the ordinance for parking on site.

The Board's comments/questions included:

- Inquired what the need was that drove the land development plan. (The Hamilton Shopping Center has been full for years and they needed to review the parking patterns.)
- Inquired if there were more plans for the plaza. (The new development maximizes the square footage at the property and replaces a five thousand square feet building with a new fifteen thousand square foot building and the additional parking spaces.)
- Inquired if there were going to be any beautification touches added to the site.
- Inquired about resurfacing the entire lot. (They would be resurfacing only the new spaces during the project, but planned to resurface the rest of the shopping center at a later date.)
- Inquired what would be done with the material from the demolition. (The contractor would recycle all of the materials.)
- Commented that the new development may have a better design appeal once it is finished.

Mr. Sam noted that he had reviewed the plans and it looked like the plantings were going to remain the same. He suggested including some diversity to the plantings to include trees other than Honey Locust trees in case there are diseases or pests in the future that target the Honey Locusts. Mr. Sam also requested that the developers put something in place to protect the existing tree in the middle of the lot.

Mr. Reinhardt made motion to approve the land development plan and Mr. Devon seconded the motion. The vote was unanimously in favor.

Official Reports and Correspondence

Borough Council (BC): Ms. Messner reviewed the ordinance that consolidated the Historic Resources Commission and the Design Review Board.

The Board's comments/questions included:

- Inquired if the ordinance was already in force.
 - Ms. Messner noted that it had been signed and the consolidation would take place as of January 1, 2017.
- Commented that the ordinance was largely inadequate. Noted that the mission of the new Board largely changed the mission of the DRB and objected to the wording of the Mission.
- Requested a meeting to review their new tasks and purpose.
- Commented that it was difficult to determine the tasks of the new Board and how the new Board would be constituted.
- Inquired if all of the members would have a historic viewpoint.
 - Ms. Messner stated that was not a requirement.
- Commented that there will be some members focusing on the past and some members focusing on the future which could lead to clashes.
- Requested wording to be included that would describe the DRB's traditional functions in a separate section of the Mission. Make it clear that the new Board will be attempting to preserve design that is good, but also to shape the future design.
- Commented that neither the previous ordinance nor the new ordinance took into account the different built environments such as residential, commercial, university, etc.
- Commented that the Borough designs should not be exempt from DRB review.
- Stated that it has been difficult to get student representation in the past, but they would like to see students represented on the Board.
 - Ms. Messner noted that, while students are not excluded, there are additional challenges to maintaining student representatives in that they are transient and there is a residency requirement that is difficult for them to maintain for their tenure on the Board. She commented that the HRC had a student representative for a time, but he had difficulty maintaining the schedule.
 - Stated that serving on a Board would be beneficial to a student's resume.
- Commented that design issues pertaining to the protection of communities was very important. The DRB has looked at individual buildings rather than the communities as a whole.
 - Ms. Messner noted that this could be reviewed when Planning staff review the Zoning Ordinance in 2017.

Mr. Bryant requested that the Board members make mention of the membership vacancies if any of them know of individuals who might be interested in serving. Mr. Devon noted that it might be easier to gain membership if the requirements were amended to state that the members must live or work in the Borough.

Ms. Messner explained that staff was reviewing a time at which to set the meetings. These meetings would likely stay during the daytime as the majority of the work would be Land Development Plans and daytime meetings work better for the design professionals.

Ms. Messner inquired about the request for an orientation meeting and what the DRB would see that consisting of. Mr. Devon suggested an informal meeting of the membership before the new Board was required to start working together. Ms. Messner stated that she would start working on that possibility.

Mr. Reinhardt inquired if the new Board would be meeting twice a month and Ms. Messner responded that it would need to meet that frequently in order to handle the Land Development Plans.

Mr. Devon inquired if HRC had identified historic resources and Ms. Messner explained that two historic districts had been identified and registered. The theme for these historic districts were community planning and local architects. She noted that the districts could be expanded if the buildings met that theme.

Mr. Devon inquired if the historic district designs had to go to the DRB and Ms. Messner responded that it had not. She noted that properties that meet certain criteria can register for historic status on an individual basis as some buildings on Penn State campus had done, but individual buildings were usually commercial structures rather than residential ones.

Mr. Devon inquired if residents in the districts would be required to meet any additional requirements when doing anything with their homes and Ms. Messner noted that certain building changes would need to be reviewed by the HRC, but the Commission was advisory body and could only make recommendations.

Mr. Devon noted that some of the areas with historic districts included some very different houses and Ms. Messner explained that those homes were not part of the contributing structures for the historic districts. She noted that as part of the orientation meeting, staff could review how each of the Boards had functioned in the past.

Mr. Devon inquired if there would be a delay involved in a building permit if the building was a contributing building and Ms. Messner noted that there could be a delay until the Commission could meet to discuss the plans.

Planning Commission (PC): Ms. Messner reported the PC would be seeing the land development plan at their next meeting.

Adjournment

With no further business to discuss, the meeting was adjourned at 10:37 a.m. by a motion from Mr. Reinhardt and a second from Mr. Devon.

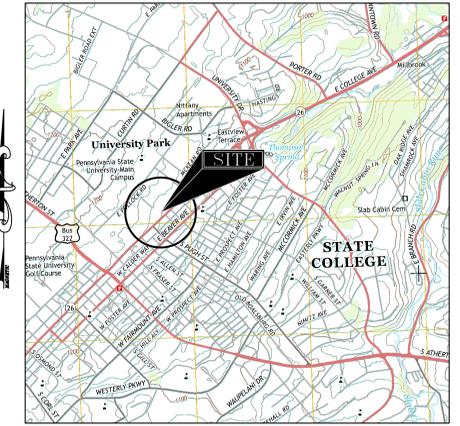
Respectfully submitted by,
Sarah E. Smith, Staff Assistant



Aerial View

FINAL LAND DEVELOPMENT

LAND DEVELOPMENT
FOR
THE PENNSYLVANIA STATE UNIVERSITY
NURSING SCIENCES BUILDING
NEW ENTRANCE



LOCATION MAP

SCALE: 1" = 200'
A PORTION OF STATE COLLEGE U.S.G.S. 7.5 MIN. QUADRANGLE

NOTES:

- OWNER / DEVELOPER: PENNSYLVANIA STATE UNIVERSITY
UNIVERSITY
416 OLD MAIN
UNIVERSITY PARK, PA. 16802
- SOURCE TITLE: DEED BOOK "V" PG 20
TAX PARCEL #: 36-006-008
ZONING DISTRICT NORTH OF EAST COLLEGE AVENUE:
UNIVERSITY PLANNED DISTRICT (UPD)
SUBDISTRICT 5
ZONING DISTRICT SOUTH OF EAST COLLEGE AVENUE:
GENERAL (C)
SETBACKS:
UPD-15 FEET FROM CURB ALONG EAST COLLEGE AVENUE
- NOTES:
1. DESIGNATED FLOOD INSURANCE RATE MAPS FOR BOROUGH OF STATE COLLEGE, CENTRE COUNTY, PENNSYLVANIA COMMUNITY PANEL 42027028MAY 4, 200538P EFFECTIVE DATE OF . THE PROJECT AREA LIES WITHIN ZONE X. THE SITE DOES NOT LIE WITHIN A FLOOD ZONE.
 2. THERE ARE NO EXISTING WETLANDS WITHIN THE PROJECT AREA BASED ON FIELD INVESTIGATION AND REVIEW OF NWI MAPPING.
 3. EXISTING SITE FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON FIELD SURVEY PERFORMED BY ENGINEERING SURVEYING CONSULTANTS AND DESIGN, INC., PO BOX 308, MOSCOW, PA 16844.
 4. ELEVATIONS SHOWN ON PLANS ARE BASED ON ACTUAL FIELD SURVEY BASED ON ASSUMED DATUM.
 5. THE PROPOSED EXPANSION WILL BE SERVED BY EXISTING PUBLIC WATER AND PUBLIC SEWER. NO ADDITIONAL FLOW WILL BE GENERATED BY THE ADDITION.
 6. EXISTING FIRE HYDRANT IS LOCATED AT THE INTERSECTION OF EAST COLLEGE AVENUE AND MCALLISTER STREET. EXISTING SIAMISE CONNECTIONS ARE LOCATED SOUTH OF THE PROPOSED ADDITION ON THE EXISTING HENDERSON EAST BUILDING.
 7. ACCESS TO ANY HIGHWAY UNDER THE JURISDICTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT PURSUANT TO 402 OF THE HIGHWAY ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE STATE HIGHWAY LAW.
 8. THE RIGHT-OF-WAY FOR S.R. 0026 IS 60 FEET.

MUNICIPAL APPROVAL BY:

DIRECTOR OF PLANNING OR DESIGNEE _____ DATE _____

ENGINEER CERTIFICATION

THE UNDERSIGNED HEREBY CERTIFIES THAT THE SUBJECT PLAN AND RELATED DRAWINGS, REPORTS, ETC. BEARING HIS SEAL ARE TRUE AND ACCURATE AND WERE PREPARED BY HIM OR UNDER HIS DIRECT SUPERVISION AND FOR WHICH THE UNDERSIGNED ACCEPTS FULL AND COMPLETE RESPONSIBILITY. THE UNDERSIGNED FURTHER CERTIFIES THAT THE ABOVE ARE OF ADEQUATE DESIGN IN ACCORDANCE WITH ACCEPTED ENGINEERING STANDARDS AND THAT, TO THE BEST OF HIS KNOWLEDGE, ALL REQUIREMENTS OF THE STATE COLLEGE BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN MET.

MARC BOWEN, PE053608-E _____ DATE _____

SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS IS A TRUE AND ACCURATE SURVEY MADE ON THE GROUND; THAT THE MARKERS SHOWN HEREON ACTUALLY EXIST, AND THAT THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE ACCURATELY SHOWN.

REGISTERED SURVEYOR _____ DATE _____

ENGINEER SWM CERTIFICATION

I, _____ HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE STATE COLLEGE BOROUGH STORMWATER MANAGEMENT ORDINANCE.

MARC BOWEN, PE053608-E _____ DATE _____

BOROUGH ENGINEER CERTIFICATION

I, _____ HAVE REVIEWED THIS STORMWATER MANAGEMENT SITE PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE STATE COLLEGE BOROUGH OF STORMWATER MANAGEMENT ORDINANCE.

BOROUGH ENGINEER _____ DATE _____

OWNERSHIP AND DEDICATIONS

THE UNDERSIGNED DO HEREBY CERTIFY THAT THEY ARE THE OWNERS OF THE LAND SHOWN ON THIS FINAL PLAN, IN PEACEFUL POSSESSION, WITH NO SUITS PENDING, AND THAT THE LAND DEVELOPMENT IS BEING SUBMITTED ON THEIR BEHALF.

OWNER/DEVELOPER _____ DATE _____

NOTARIZATION:

COMMONWEALTH OF PENNSYLVANIA COUNTY OF _____

SWORN TO AND SUBSCRIBED TO BEFORE ME THIS THE _____ DAY OF _____

_____ MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____ SEAL _____

SWM SITE ALTERATION AGREEMENT

THE OWNER AGREES TO ACQUIRE PERMISSION FROM THE MUNICIPALITY PRIOR TO PERFORMING ANY ALTERATIONS TO STORMWATER MANAGEMENT FACILITIES.

ANDREW DAVID GUBERLET _____ DATE _____
MANAGER OF ENGINEERING SERVICES

BOROUGH OF STATE COLLEGE
CENTRE COUNTY
PENNSYLVANIA

AUGUST 18, 2016



PREPARED BY:



WWW.REUTHERBOWEN.COM PA - NY - NJ
PHONE (570)496-7020 FAX (570)496-7021

LIST OF DRAWINGS	
DWG. NUMBER	DESCRIPTION
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	LAYOUT PLAN
C3.1	GRADING AND DRAINAGE PLAN
C4.1	E&S PLAN
C6.1	SIDEWALK PROFILES
C6.2	STORMWATER PROFILES
D1.1	SITE & E&S NOTES
D1.2	SITE DETAILS
D1.3	SITE DETAILS
D1.4	E&S DETAILS
L1.1	LANDSCAPE PLAN
A3.1	BUILDING ELEVATIONS

UTILITY COMPANIES

COMCAST CABLEVISION
250 REESE ROAD
STATE COLLEGE, PA 16801
CONTACT: JEFF WALKER
E-MAIL: JEFFREY_WALKER2@CABLE.COMCAST.COM

COLUMBIA GAS OF PA INC-BETHAL PARK
251 W MAIDEN ST
WASHINGTON, PA. 15301
CONTACT: SHANNON GRIEST
E-MAIL: SGRIEST@NISOURCE.COM

VERIZON PENNSYLVANIA, INC.
15 E MONTGOMERY AVE
PITTSBURGH, PA. 15212
CONTACT: OFFICE PERSONNEL

BOROUGH OF STATE COLLEGE
243 S ALLEN ST.
STATE COLLEGE, PA. 16801
CONTACT: AMY KERNER
EMAIL: AKERNER@STATECOLLEGEPA.US

WINDSTREAM
929 MARTHAS WAY STAFFORD AVE
HIAWATHA, IA. 52233
CONTACT: DAMAGE CONTROL PERSONNEL

PENNSYLVANIA ONE CALL SYSTEM, INC.
DIAL 8-1-1 BEFORE YOU DIG

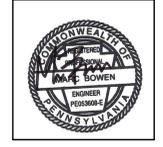
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL 1-800-242-1776

PA1 SYSTEM INC. SERIAL # 20160962917





KIMMEL BOGRETTE
Architecture + Site
151 E. 10th Avenue, Suite 300
Pittsburgh, PA 15222
Phone: 412.834.7885 Fax: 412.834.7815
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reuther+bowen
Engineering, Design, Construction Services
308 MARSH ST.
PITTSBURGH, PA 15222
PHONE: 412.629.0200 FAX: 412.629.0201

THE PENNSYLVANIA STATE UNIVERSITY
(PROJECT NO. 00-04237.00) BUILDING NO. 0653
NURSING SCIENCES BUILDING
ENTRANCE ADDITION
COLLEGE AVENUE, STATE COLLEGE, PA 16802,
BOROUGH OF STATE COLLEGE, CENTRE COUNTY

100% GMP BID SET: 08.05.2016
Drawn By: TTY
Checked By: DPL
Scale: AS NOTED

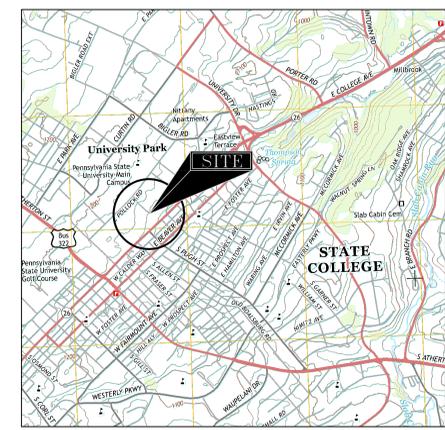
Sheet Name: EXISTING CONDITIONS/DEMO PLAN
Progress Prints: 08/11/2016 Building Permit
Revisions:
Addendum #1 08/12/2016
PA1System Inc. SERIAL # 20160962917

VERIZON PENNSYLVANIA, INC.
15 E. MONTGOMERY AVE
PITTSBURGH, PA 15212
CONTACT: OFFICE PERSONNEL
BOROUGH OF STATE COLLEGE
243 S ALLEN ST
STATE COLLEGE, PA 16801
CONTACT: AMY KERNER
EMAIL: AKERNER@STATECOLLEGEPA.US
COMCAST CABLEVISION
250 REESE ROAD
STATE COLLEGE, PA 16801
CONTACT: JEFF WALKER
E-MAIL: JEFFREY_WALKER@CABLE.COMCAST.COM

COLUMBIA GAS OF PA INC-BETHAL PARK
251 W MAIDEN ST
WASHINGTON, PA 15301
CONTACT: SHANNON GRIEST
E-MAIL: SGRIEST@SOURCE.COM
WINDSTREAM
929 MARTHAS WAY STAFFORD AVE
HAWATHA, PA 15223
CONTACT: DAMAGE CONTROL PERSONNEL

GRAPHIC SCALE
0' 10' 20' 30'

CI.I



LOCATION MAP
SCALE: 1" = 2000'
A PORTION OF STATE COLLEGE U.S.G.S. 7.5 MIN. QUADRANGLE

EXISTING	DESCRIPTION	PROPOSED
1600	CONTOURS	1600
---	PROPERTY LINES	---
---	RIGHT-OF-WAY	---
---	SETBACK LINES	---
○	INLETS	○
○	AREA DRAIN	○
---	STORM PIPE	---
---	UTILITY POLE	---
---	ELECTRIC LINE	---
---	LIGHT	---
---	CLEANOUT	---
---	SANITARY SEWER	---
---	WELL	---
---	WOOD FENCE	---
---	CHAINLINK FENCE	---
---	BUILDING	---
---	TREE LINE	---
---	SOIL LINE	---

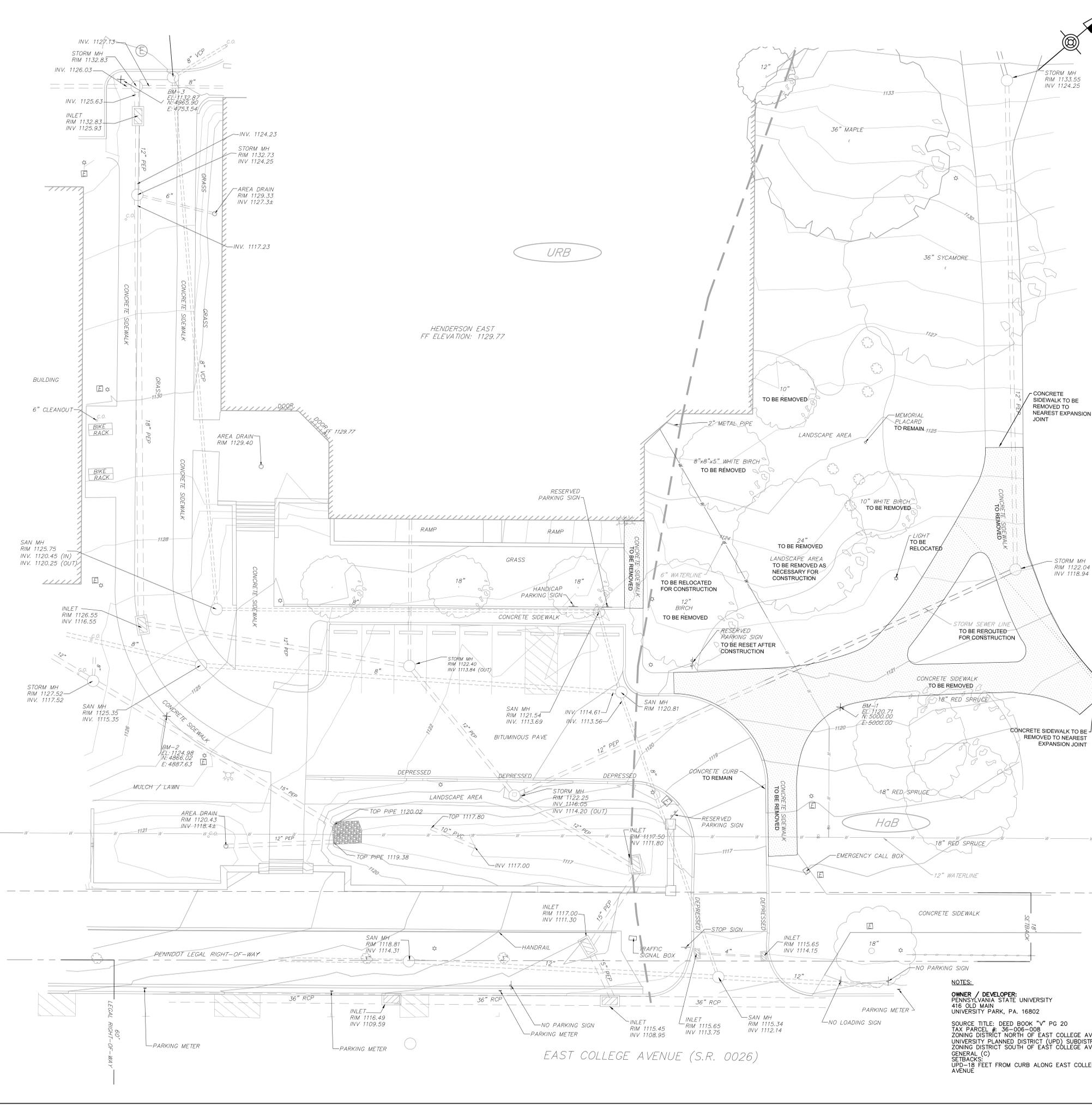
GENERAL DEMOLITION AND EARTHWORK NOTES:

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS IDENTIFIED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER AND MEET ALL THE OSHA REQUIREMENTS AND OTHER FEDERAL, STATE, AND LOCAL REGULATIONS. TO ENSURE THE PUBLIC AND CONTRACTOR SAFETY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - ALL EXISTING UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND RELOCATION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATE WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
 - IN ABSENCE OF SPECIFIC PRESCRIPTION, THE CONTRACTOR SHALL PERFORM EARTHWORKING ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S ENGINEER.
 - EXPLOSIVES SHALL NOT BE USED USED ON THE PENNSYLVANIA STATE UNIVERSITY MILTON S. HERSEY CAMPUS.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND ROADWAY RIGHT-OF-WAYS.
 - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
 - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
 - USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF DUST AND DRIFT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
 - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
 - THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIR SHALL RESTORE THE ITEM TO PRE-DEMOLITION CONDITION.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSATURABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
 - THE CONTRACTOR SHALL COORDINATE SERVICE SHUTOFF AND DISCONNECT/REMOVAL PROCEDURES WITH EACH RESPECTIVE UTILITY COMPANY FOR THE EXISTING UTILITIES SHOWN TO BE REMOVED.
 - THE DEMOLITION PLAN IS NOT INTENDED TO SHOW EROSION CONTROL MEASURES. FOR SUCH GUIDELINES AND DETAILS, SEE THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

SOIL DESCRIPTIONS:
HaB—HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
URB—URBAN LAND-HAGERTOWN COMPLEX, GENTLY SLOPING

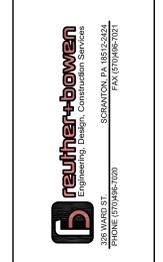
UTILITY COMPANIES
PA1System Inc. SERIAL # 20160962917

NOTES:
OWNER / DEVELOPER:
PENNSYLVANIA STATE UNIVERSITY
416 OLD MAIN
UNIVERSITY PARK, PA 16802
SOURCE TITLE: DEED BOOK "V" PG 20
TAX PARCEL #: 36-008-008
ZONING DISTRICT NORTH OF EAST COLLEGE AVENUE;
UNIVERSITY PLANNED DISTRICT (UPD) SUBDISTRICT 5
ZONING DISTRICT SOUTH OF EAST COLLEGE AVENUE;
GENERAL (C)
SETBACKS:
UPD—18 FEET FROM CURB ALONG EAST COLLEGE AVENUE



NOTES:
OWNER / DEVELOPER:
PENNSYLVANIA STATE UNIVERSITY
416 OLD MAIN
UNIVERSITY PARK, PA 16802
SOURCE TITLE: DEED BOOK "V" PG 20
TAX PARCEL #: 36-008-008
ZONING DISTRICT NORTH OF EAST COLLEGE AVENUE;
UNIVERSITY PLANNED DISTRICT (UPD) SUBDISTRICT 5
ZONING DISTRICT SOUTH OF EAST COLLEGE AVENUE;
GENERAL (C)
SETBACKS:
UPD—18 FEET FROM CURB ALONG EAST COLLEGE AVENUE

EAST COLLEGE AVENUE (S.R. 0026)

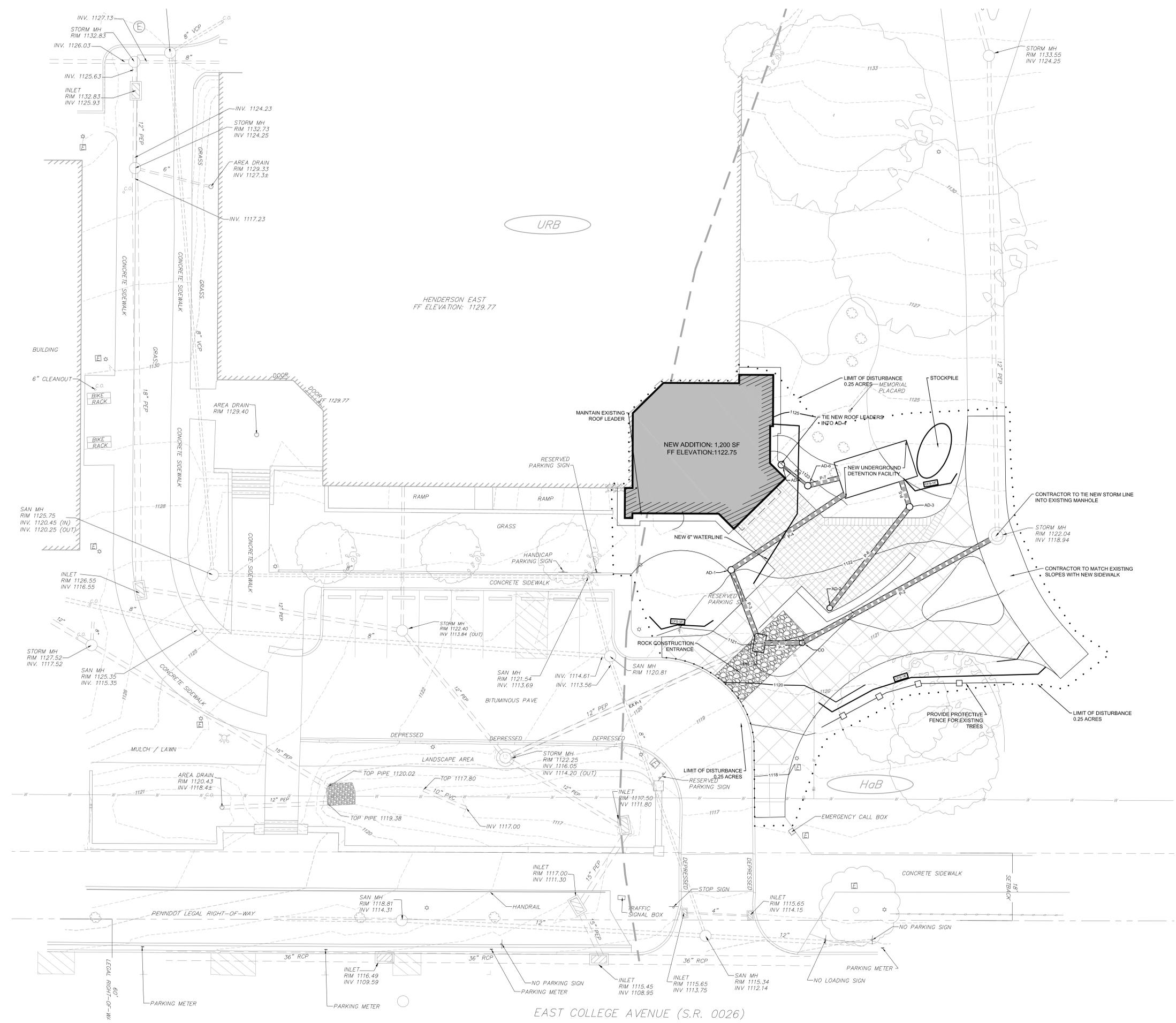


THE PENNSYLVANIA STATE UNIVERSITY
(PROJECT NO. 00-04237.00) BUILDING NO. 0653
NURSING SCIENCES BUILDING
ENTRANCE ADDITION
COLLEGE AVENUE, STATE COLLEGE, PA 16802,
BOROUGH OF STATE COLLEGE, CENTRE COUNTY

100% GMP BID SET: 08.05.2016
Drawn By: TRV
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Scale: AS NOTED

Sheet Name: E&S PLAN
Progress Prints: Revisions:
08.11.2016 Building Permit Addendum #1 08.16.2016

C4.1

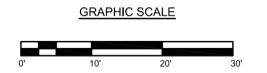


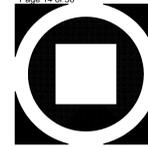
EXISTING	DESCRIPTION	PROPOSED
---	1600'	---
---	1600'	---
---	CONTOURS	---
---	PROPERTY LINES	---
---	PROPERTY CORNER	---
---	RIGHT-OF-WAY	---
---	SETBACK LINES	---
○	INLETS	□
○	AREA DRAIN	○
---	STORM PIPE	---
---	UTILITY POLE	---
---	ELECTRIC LINE	---
○	LIGHT	---
○	CLEANOUT	---
---	SANITARY SEWER	---
---	WELL	---
---	WOOD FENCE	---
---	CHAINLINK FENCE	---
---	BUILDING	---
---	TREE LINE	---
---	SOIL LINE	---
---	SILT SOCK	---
---	SLOPE PROTECTION	---
---	INLET PROTECTION	---
---	LIMIT OF DISTURBANCE	---

- GENERAL NOTES:**
- ANY DISTURBED AREA WHERE SOIL LIMITATIONS PROHIBIT ESTABLISHMENT OF VEGETATION (ROCKY SOILS OR AREAS WITH LITTLE VEGETATION PRIOR TO EARTH DISTURBANCE) SHALL BE REPLACED WITH 4" OF TOPSOIL OR OTHER SUITABLE MATERIAL TO PROMOTE VEGETATIVE GROWTH FOR STABILIZATION, AS DIRECTED BY THE ENGINEER. AREA REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
 - THERE ARE NO WETLANDS HAVE BEEN DELINEATED WITHIN THE PROJECT SITE.
 - THERE ARE NO GEOLOGIC CONDITIONS THAT HAVE POTENTIAL TO CAUSE POLLUTION DURING CONSTRUCTION.
 - THE E & S PLAN MINIMIZES THE EXTENT AND DURATION OF EARTH DISTURBANCE FOR THIS PROJECT BY LIMITING CLEARING TO AREAS WHERE WORK WILL TAKE PLACE AND IMMEDIATELY STABILIZING DISTURBED AREAS AS CONSTRUCTION IS COMPLETED.
 - REFER TO SHEET D1.1 FOR GENERAL EROSION AND SEDIMENTATION CONTROL NOTES.
 - REFER TO SHEET D1.1 FOR SEQUENCE OF CONSTRUCTION.

SOIL DESCRIPTIONS:
HAB—HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
URB—URBAN LAND-HAGERSTOWN COMPLEX, GENTLY SLOPING
TOTAL DISTURBED AREA = 0.25 ACRES

RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION
WATERSHED: TRIBUTARY TO SLAB CABIN RUN
HIGH QUALITY COLD WATER FISHES- MIGRATORY FISH (HQ-CWF-MF)





KIMMEL BOGRETTE
Architecture + Site
151 E. 10th Avenue, Suite 300
Cottabothodden, PA 19428
Phone: 610.834.7885 Fax: 610.834.7815
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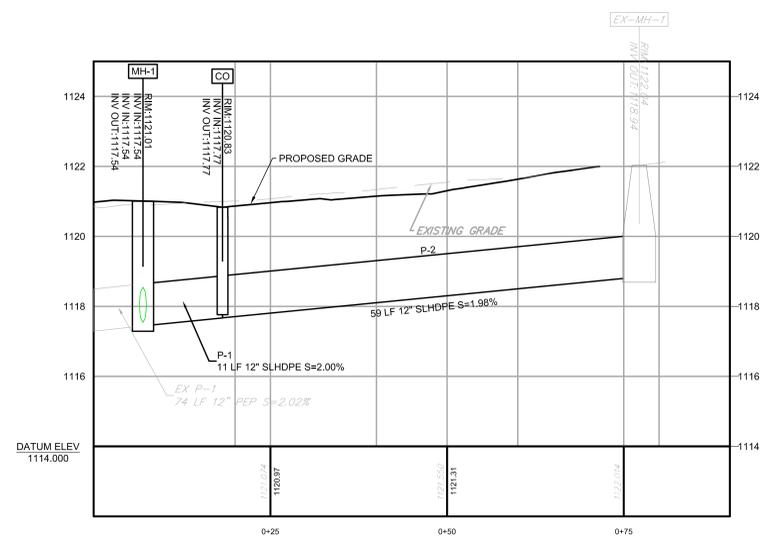
rauthner+bowen
Engineering, Design, Construction Services
308 MARKET ST.
SCRANTON, PA 18520-2424
PHONE: (717) 339-1020 FAX: (717) 339-1021

THE PENNSYLVANIA STATE UNIVERSITY
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COLLEGE AVENUE, STATE COLLEGE, PA 16802,
BOROUGH OF STATE COLLEGE, CENTRE COUNTY

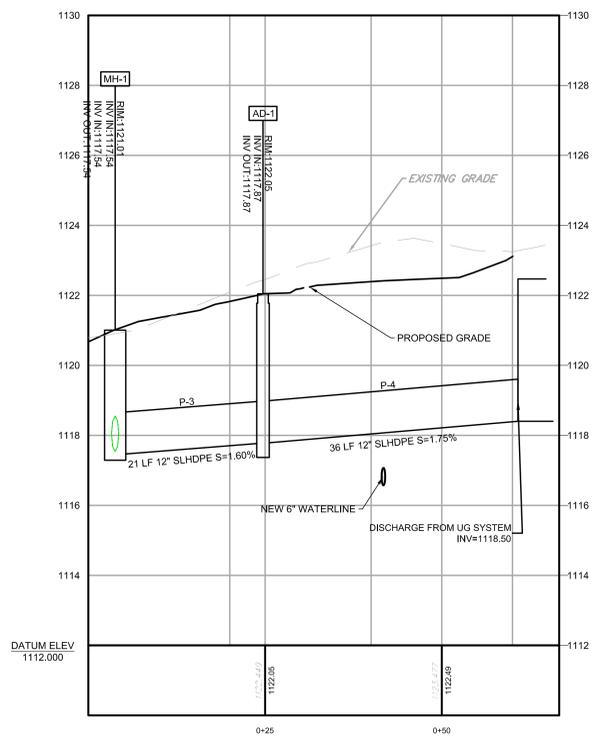
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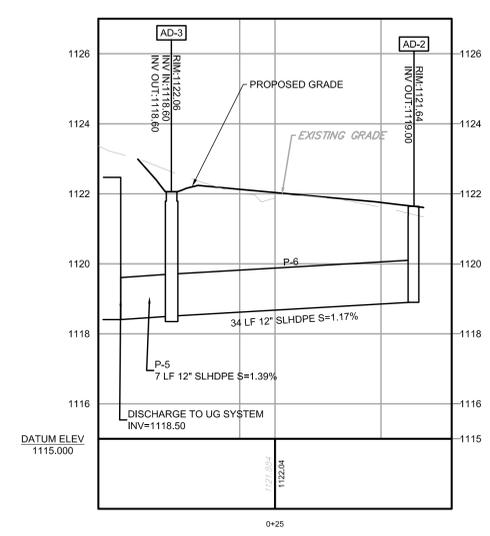
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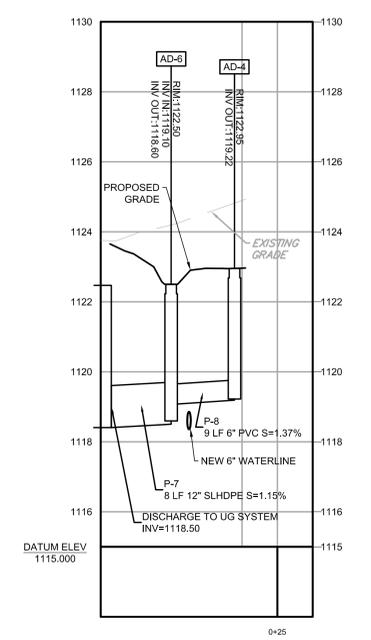
STORM PROFILE- EX MH-1 TO MH-1



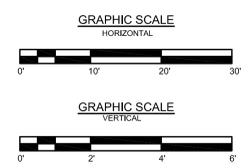
STORM PROFILE- UG SYSTEM TO MH-1

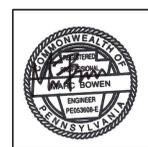


STORM PROFILE- AD-2 TO UG SYSTEM



STORM PROFILE- AD-4 TO UG SYSTEM





131 E. 10th Avenue, Suite 300
Cambria, PA 17285
Phone: 610.834.7885 Fax: 610.834.7815
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THE PENNSYLVANIA STATE UNIVERSITY
(PROJECT NO. 00-04327.00) BUILDING NO. 0653
NURSING SCIENCES BUILDING
ENTRANCE ADDITION
COLLEGE AVENUE, STATE COLLEGE, PA 16802,
BOROUGH OF STATE COLLEGE, CENTRE COUNTY

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Sheet Name: SITE & E&S NOTES
Progress Prints: 08.11.2016 Building Permit
Revisions:
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GENERAL SITE NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT IN ACCORDANCE WITH THE INTENTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS AND DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS, SPECIFICATIONS AND REFERENCED DOCUMENTS IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- 2. ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVEGROUND INSPECTION AND MARK OUT OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974, AS AMENDED BY ACT 121 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THREE WORKING DAYS NOTICE FOR CONSTRUCTION PHASE. CALL THE PA ONE CALL SYSTEM AT 1-800-242-1776. SERIAL NO. 20160962917 WAS PLACED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL BE NOTIFIED THE PA ONE CALL SYSTEM BEFORE BEGINNING ANY EXCAVATION WORK.
- 3. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- 4. THIS PLAN SHALL NOT BE USED FOR BUILDING STAKEOUT PURPOSES. PROPOSED BUILDING LOCATION AS DEPICTED IS WITHIN ACCEPTABLE TOLERANCES FOR SITE WORK ONLY. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT BUILDING PLACEMENT.
- 5. THE BUILDING FOOTPRINTS DEPICTED HEREON HAVE BEEN TRANSPORTED FROM ARCHITECTURAL PLANS. FINAL BUILDING DIMENSIONS MAY VARY BUT SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. UNLESS OTHERWISE NOTED, FINAL BUILDING FOOTPRINTS WHICH SUBSTANTIALLY VARY FROM THE FOOTPRINTS HEREON SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO REQUESTING A BUILDING PERMIT.
- 6. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT SPECIFICATION "PUBLICATION FORM 408", LATEST EDITION AND WITH THE BOROUGHS OF STATE COLLEGE STANDARDS WHERE APPLICABLE. ALL IMPROVEMENTS WITHIN THE BOROUGHS MUST COMPLY WITH BOROUGHS OF STATE COLLEGE STANDARDS AND SPECIFICATIONS.
- 7. THE PROPOSED BUILDING SHALL BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER. ALL ABOVEGROUND OF STATE COLLEGE PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- 8. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AND COMPLETE ALL WORK INDICATED OR IMPLIED ON THE PROJECT PLANS AND/OR SPECIFICATIONS THAT ARE NOT EXISTING ON THE PROJECT SITE AND THAT ARE NOT SPECIFICALLY NOTED AS "FUTURE" OR "NOT IN CONTRACT" BY OTHER CONTRACTORS.
- 9. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND UTILITIES IN WRITING PRIOR TO ACTUAL SITE CONDITIONS. DIFFER FROM THAT SHOWN ON THE PLAN OR IF THE PROPOSED WORK WOULD BE IMPAIRED BY ANY OTHER EXISTING SITE FEATURES.
- 11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING UTILITIES. PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- 12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REGULATIONS. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING UTILITIES, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- 14. THE CONTRACTOR IS TO EXERCISE CARE WHEN PERFORMING WORK ACTIVITIES ADJACENT TO PAVEMENT, UTILITIES AND UTILITIES THAT ARE REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING ITEMS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALK, ETC AS A RESULT OF THEIR WORK. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING ITEMS TO THE OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- 16. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD IN WRITING WHEN A CONFLICT IS IDENTIFIED.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF TRAFFIC AND JOB SAFETY.
- 19. ALL UTILITIES DAMAGED OR DESTROYED SHALL BE BROUGHT TO THE ATTENTION OF THE SPECIFIC UTILITY. ALL COST INCURRED TO FIX OR REPLACE THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
- 20. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.
- 21. THE CONTRACTOR SHALL MAINTAIN INGRESS AND EGRESS AT ALL TIMES TO THE JOB SITE.
- 22. THE PLAN IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY, EASEMENTS AND COVENANTS OF RECORD.
- 23. IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY DESIGN ENGINEER. THE DESIGN ENGINEER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- 24. ANY EXCESS EXCAVATION AT THE END OF THE JOB SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER AT NO ADDITIONAL COST.

STORM SEWER NOTES:

- 1. ALL STORM CONVEYANCE PIPE SHALL BE SLOP-DPE PIPE, UNLESS OTHERWISE SPECIFIED.
- 2. IF A CONFLICT ARISES DURING INSTALLATION OF ANY PART OF THE STORM SYSTEM, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IN WRITING.
- 3. ALL STORM SEWER PIPE JOINTS AND STRUCTURES SHALL BE WATER TIGHT.

TOPSOIL APPLICATION:

PRIOR TO INITIATING PERMANENT STABILIZATION PROCEDURES, THE DISTURBED AREAS SHOULD BE PROPERLY PREPARED AND COVERED WITH TOPSOIL AS FOLLOWS:

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.

TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES, AND A MINIMUM OF 2 INCHES OF FILL ON OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SOILING OR SOILING CAN PRECEDE A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PERVENT FORMATION OF DEPRESSIONS.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MOIST CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETERMINED TO PROPER GRADING AND SEEDING. TOPSOIL SHOULD BE COMPACTED SOIL SHOULD BE SCARIFIED TO 6 TO 12 INCHES ALONG COURSE WHEREVER POSSIBLE PRIOR TO SEEDING.

SUITABLE TOPSOIL CONSISTS OF ACCEPTABLE FRIABLE LOAM THAT IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, ROOTS, WEEDS, OTHER OBJECTIONABLE VEGETATION, STONES, OTHER FOREIGN MATERIAL LARGER THAN 2 INCHES IN ANY DIMENSION, LITTER, AND/OR OTHER MATERIAL UNSUITABLE OR HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE CONTAINED NOT LESS THAN 2.0% OR MORE THAN 10.0% ORGANIC MATTER. TOPSOIL SHALL MEET THE FOLLOWING GRADING ANALYSIS:
2" sieve - MINIMUM 100% PASSING
NO. 4 sieve - MINIMUM 75% PASSING
NO. 10 sieve - MINIMUM 60% PASSING

SAND, SILT, AND CLAY MATERIAL PASSING THE NO. 10 SIEVE SHALL BE WITHIN THE FOLLOWING RANGES:
SAND: 5 TO 70%
SILT: 10 TO 70%
CLAY: 5 TO 36%

GENERAL UTILITIES NOTES

- 1. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 2. THE LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, REMOVAL OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINT CONFLICTS SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- 3. ALL UTILITY EXTENSIONS FROM THE BUILDING BY OTHER TRADES SHALL BE CONNECTED TO THE CONTINUING UTILITY LINES ON THE SITE. THE GENERAL CONTRACTOR SHALL MAKE THE CONNECTIONS AT A POINT 5' FROM THE BUILDING WALL WHERE OTHER TRADES HAVE ENDED THEIR WORK. THE CONTRACTOR SHALL COORDINATE SCHEDULING OF THESE CONNECTIONS WITH OTHER TRADES TO ASSURE THE SYSTEM IS COMPLETE WHEN FLOW WILL BEGIN IN THE LINES.
- 4. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST FIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 5. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NOT TO REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- 6. THE BUILDING FOOTPRINTS DEPICTED HEREON HAVE BEEN TRANSPORTED FROM PRELIMINARY ARCHITECTURAL PLANS. FINAL BUILDING DIMENSIONS MAY VARY SLIGHTLY, BUT SHALL ULTIMATELY CONFORM TO APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC.
- 7. EXISTING VALVES, RIMS, GRATES, CLEANOUTS AND LIDS SHALL BE FIELD RESET TO PROPOSED GRADE.
- 8. UNDERDRAINS SHALL BE INSTALLED AS DETERMINED NECESSARY AND AS DIRECTED BY THE BOROUGHS ENGINEER'S OFFICE.
- 9. STRUCTURE LOCATION (STATION) AND PIPE LENGTHS ARE MEASURED FROM THE CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 10. WHENEVER POSSIBLE, SEWER MAINS SHOULD BE LAID AT LEAST 10' HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCATION CONDITIONS PREVENT A LATERAL SEPARATION OF 10', A SEWER MAY BE LAID CLOSER THAN 10' TO A WATER MAIN IF:
 - 10.1. IT IS LAID IN A SEPARATE TRENCH
 - 10.2. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH.
 - 10.3. THE MINIMUM DISTANCE BETWEEN THE TOP OF THE SEWER IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
- 11. WHENEVER SEWERS MUST CROSS WATER MAINS OR UTILITIES, A MINIMUM OF 18" OF VERTICAL CLEARANCE MUST BE MAINTAINED. IF NOT ATTAINABLE, A 6" CONCRETE ENCASMENT MUST BE PROVIDED. DUCTILE IRON PIPE MUST BE UTILIZED AT CROSSINGS WITH CONCRETE ENCASMENTS. THIS PIPE MUST CONSISTENTLY BE DUCTILE IRON PIPE BETWEEN THE TWO MAINS OF THE AFFECTED AREA.
- 12. THE MINIMUM DISTANCE BETWEEN THE PLACEMENT OF TREES TO LIGHT POLES AND UTILITY SERVICE LINES SHALL BE 10 FEET.
- 13. ALL SANITARY AND STORM SEWERS WITH A SLOPE LESS THAN 1.0% ARE TO BE CONSIDERED AS A LATEST BEAN DEVIATION TO ASSURE PROPER LINE AND GRADE, UNLESS OTHERWISE DIRECTED.
- 14. ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL EITHER BE REMOVED OR FILLED WITH SAND/SMAI STONE AND ADEQUATELY CAPPED/UNKNOW.
- 15. THE LINES OF EXISTING UTILITIES IN PORTION OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE ADEQUATE GROUND COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION OF THE PROJECT.
- 16. ALL STORM SEWER SYSTEMS ARE TO BE OWNED AND MAINTAINED BY PENN STATE UNIVERSITY WITH PERMISSION TO THE BOROUGHS TO ENTER AND PERFORM EMERGENCY MAINTENANCE IF REQUIRED. SHOULD THE BOROUGHS BE REQUIRED TO ENTER THE SITE AND PERFORM EMERGENCY REPAIRS TO THE ON-SITE STORMWATER FACILITIES, THE TOWNSHIP SHOULD BE COMPENSATED FOR THE WORK.

WATER LINE NOTES

- 17. WATER LINE DESIGN AND CONSTRUCTION TO BE PROVIDED IN ACCORDANCE WITH STATE COLLEGE BOROUGHS WATER AUTHORITY AND PENN STATE UNIVERSITY.

E & S BMP INSPECTION AND MAINTENANCE

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ANY AND ALL INTERIM MEASURES AS REQUIRED TO PREVENT EROSION.
- 2. ANY EXPOSED GRADED AREAS IN WHICH WORK HAS CEASED FOR A PERIOD OF FOUR (4) DAYS OR MORE SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCH.
- 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL DEVICES UNTIL COMPLETION OF THE PROJECT AND THE PERMANENT STABILIZATION OF DISTURBED AREAS.
- 4. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. BMP SPECIFIC MAINTENANCE AND REPAIR SPECIFICATIONS ARE PROVIDED IN THE NOTES ON THE PLANS ACCOMPANYING THEIR CONSTRUCTION DETAILS.
- 5. THE CONTRACTOR SHALL CLEAN AND REMOVE SEDIMENT CONTROL DEVICES WHEN IT BECOMES ONE-THIRD FULL, OR AS OTHERWISE SPECIFIED IN THE PLAN DETAILS. THE SEDIMENT REMOVED SHALL BE BURIED OR DISPOSED OF IN LANDSCAPED AREAS, AREAS TO BE VEGETATED, STOCKPILES, OR DISPOSED OF IN A LANDFILL AS WASTE.
- 6. THE CONTRACTOR IS REQUIRED TO KEEP WRITTEN LOGS OF ALL E & S BMP INSPECTION AND MAINTENANCE ACTIVITIES.
- 7. IF EROSION AND SEDIMENT CONTROL MEASURES FAIL TO PERFORM AS EXPECTED, REPLACEMENT, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 8. THE CONTRACTOR SHALL IMMEDIATELY STABILIZE ANY DISTURBANCES WHICH MAY OCCUR AS PART OF SEDIMENT REMOVAL AND BMP MAINTENANCE.

SOIL DESCRIPTIONS:

HAB-HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
URB-URBAN LAND-HAGERSTOWN COMPLEX, GENTLY SLOPING

SOIL LIMITATIONS AND RESOLUTIONS:

- EASILY ERODIBLE-STABILIZE DISTURBED AREAS WITH SEED, MULCH AND SOIL SUPPLEMENTS. ON SLOPES 3:1 OR GREATER PROVIDE SLOPE MATING.
- CUTBANKS/CAVES-OVEREXCAVATE MATERIAL AS DIRECTED BY ENGINEER AND REPLACE WITH SUITABLE MATERIAL.
- POOR TOPSOIL SOURCE-TOPSOIL WILL BE IMPORTED AND TESTED PRIOR TO PLACEMENT

STANDARD E&S PLAN NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL REPRESENTATIVE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- 5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP SEQUENCE FOR THAT STAGE OR PHASE HAS BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- 7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- 9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. EXAMPLE OF WASTE MATERIAL INCLUDE BUT IS NOT LIMITED TO:
 - 10.1. EXCESS SOIL MATERIAL
 - 10.2. CONCRETE AND BRICK
 - 10.3. PLASTIC ORANGE SAFETY FENCE
 - 10.4. REMNANT PIECES OF PIPING
 - 10.5. SCRAPS OF GEOTEXTILE
 - 10.6. WOODEN STAKES
- 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES THAT EXIST DAILY AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 16. LOG SHOWING THAT EACH DAY THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELD, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- 20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE SEEDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 29. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE COMPLETED DURING THE GERMINATING SEASON.
- 32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 33. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL

CONTINUED STANDARD E&S PLAN NOTES:

- PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.

MAINTENANCE PROGRAM:

THE CONTRACTOR IS REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT CONTROL MEASURES AND FACILITIES INDICATED ON THE APPROVED PLAN SET, INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, CLEANING, AND MAINTAINING ALL CONTROL FEATURES DURING CONSTRUCTION. APPROPRIATE EROSION AND SEDIMENT POLLUTION CONTROL FEATURES SHALL BE APPLIED TO SECTIONS SUCH AS BORROW PITS AND MATERIAL STORAGE AREAS UNFORESEEN PRIOR TO CONSTRUCTION. PERMANENT EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.

THE TEMPORARY FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE CLEAN FILL TO OR FROM THE PROJECT SITE. ALL FILL MATERIALS MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773.

ENVIRONMENTAL DUE DILIGENCE AND CLEAN FILL

THE CONTRACTOR IS RESPONSIBLE FOR IMPORTING (OR EXPORTING, AS APPROPRIATE) CLEAN FILL TO OR FROM THE PROJECT SITE. ALL FILL MATERIALS MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773.

"CLEAN FILL" IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: A REGULATED SUBSTANCE MUST BE IDENTIFIED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1a AND FP-1b FOUND IN THE DEPARTMENTS POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULT OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL AND MUST BE KEPT ON SITE AND MADE AVAILABLE UPON REQUEST OF THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. FAILURE TO PRODUCE THE FORM UPON REQUEST MAY RESULT IN REVOKING, SUSPENSION OR TERMINATION OF YOUR PERMIT COVERAGE. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE:

INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENTS POLICY "MANAGEMENT OF FILL". FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS RECALLED "DIRTY FILL". DIRTY FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENTS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 267 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SITE(S) RECEIVING SPOIL SOIL MATERIAL FROM THIS SITE HAS AN ACTIVE PERMITS PERMIT OR E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT, AS APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE PERMITS/PLAN APPROVALS IF NONE EXIST.

RECYCLING OR DISPOSAL OF WASTE MATERIALS

THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE AND BUILDING MATERIAL OR WASTES AT THE SITE.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

Formula and Species	% by Weight	Minimum %			Seeding Rate lb/1000 Yd ²
		Purity	Germination	Weed Seed	
Formula B * Perennial Ryegrass Mixture (Lolium perenne). A combination of improved certified varieties with no one variety exceeding 50% of the total Ryegrass component. * Creeping Red Fescue or Chewing Fescue, (Festuca rubra or ssp. Commutata) Improved and Certified * Annual Ryegrass (Poa pratensis). A combination of improved certified varieties with no one variety exceeding 50% of the total Ryegrass component.	20	97	90	0.10	42.0 Total 6.5
Formula C * Crownvetch (Coronilla varia) * Perennial Ryegrass Mixture (Lolium multiflorum)	45	99	70+	0.10	5.5 6.5
Formula D * Tall Fescue (Festuca arundinacea var. Kentucky 31) * Hard Fescue Mixture (Festuca turgida) A combination of improved and Certified * Annual Ryegrass (Lolium multiflorum)	60	96	85	0.10	30.0 15.0
Formula E * Annual Ryegrass (Lolium multiflorum)	100	95	90	0.10	10.0 10.0
Formula F * Hard Fescue Mixture (Festuca turgida) A combination of improved and Certified * Annual Ryegrass (Lolium multiflorum)	55	97	85	0.10	26.4 4.0
Formula G * Annual Ryegrass (Lolium multiflorum)	100	95	90	0.10	10.0 4.8
Formula H * Tall Fescue (Festuca arundinacea var. Kentucky 31) * Bristlegrass Trifol Mixture (Lotus corniculatus) * Perennial Ryegrass (Lolium multiflorum) * Virginia Wild Rye (Elymus virginicus) * Annual Ryegrass (Lolium multiflorum) * Fall Seede (Carex vulpinoidea)	30	96	85	0.10	15.0 Total 1.5 1.5 1.5 1.5 1.5

NOTE: MULCH RATE FOR INTERIM AND FINAL SEEDING SHALL BE 3 TONS PER ACRE.
* Including hardseeded and normal seedlings

MAINTENANCE REQUIREMENTS

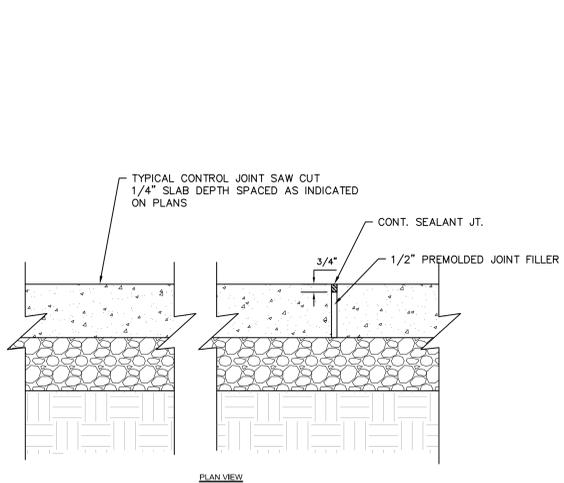
UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED. REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. MAINTENANCE REQUIREMENTS SPECIFIC TO EACH EROSION AND SEDIMENTATION BMP, WHERE APPLICABLE, CAN BE FOUND ACCOMPANYING THE CONSTRUCTION DETAILS FOR THAT DEVICE. E&S BMP DETAILS CAN BE FOUND ON THE E&S PLAN DRAWINGS.

RECYCLING OR DISPOSAL OF MATERIALS:

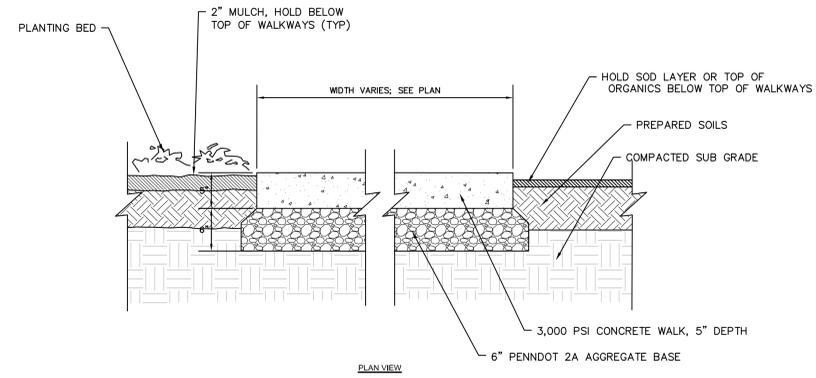
SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

EXAMPLES OF CONSTRUCTION WASTES FROM THIS PROJECT MAY INCLUDE THE FOLLOWING:

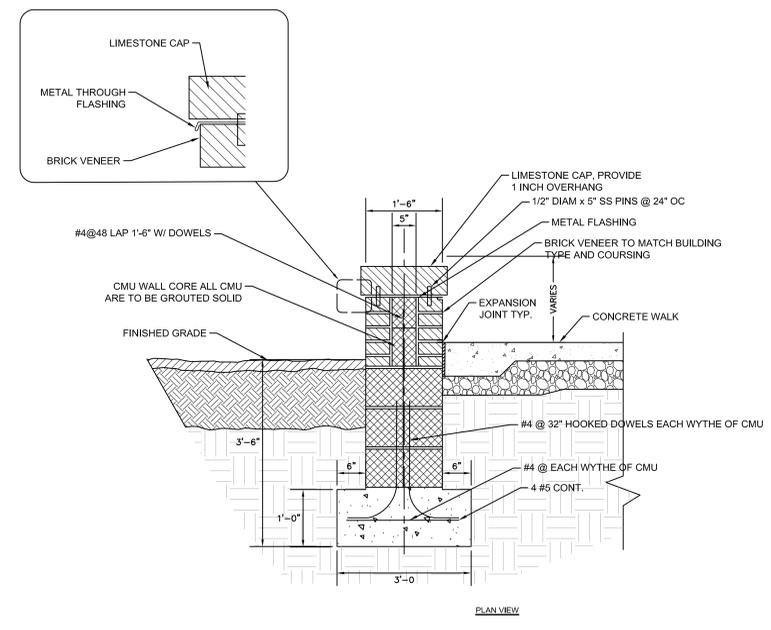
- CONCRETE W



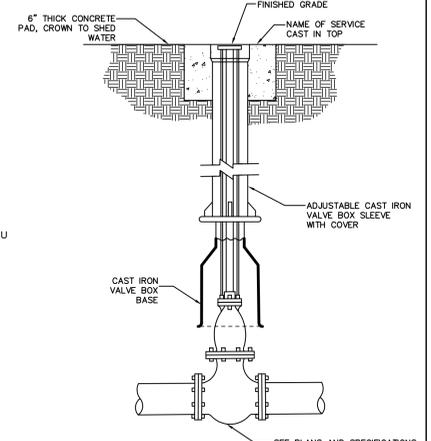
TYP. CONCRETE CONTROL & EXPANSION JOINT
NOT TO SCALE



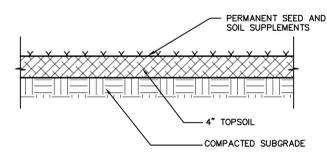
TYPICAL CONCRETE WALK
NOT TO SCALE



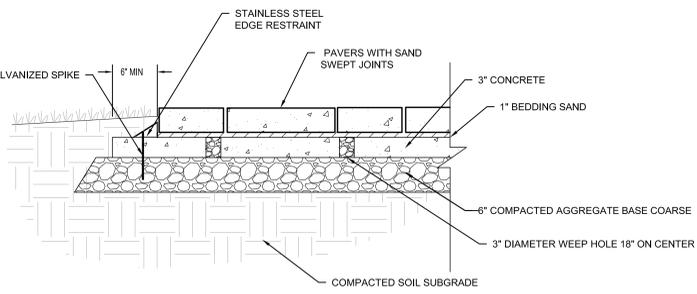
SEAT WALL DETAIL
NOT TO SCALE



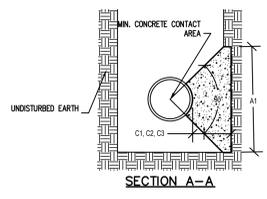
VALVE BOX DETAIL
NOT TO SCALE



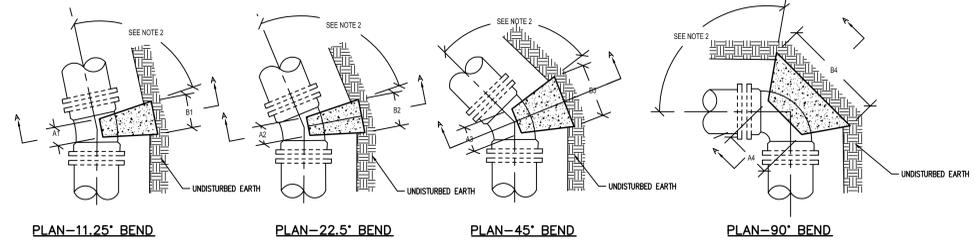
GRASS AREA RESTORATION DETAIL
NOT TO SCALE



TYPICAL PAVER DETAIL
NOT TO SCALE



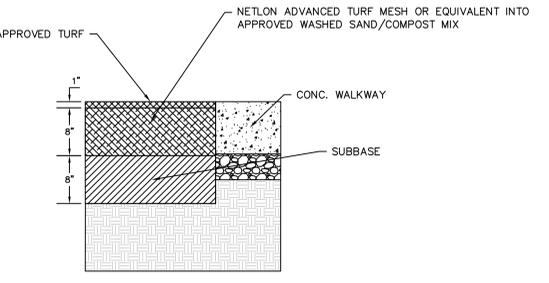
- GENERAL NOTES:**
1. SEE THRUST BLOCK TABLE FOR THRUST BLOCK DIMENSIONS. DIMENSIONS C1, C2, C3, AND C4 SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
 2. DIMENSIONS A1, A2, A3 AND A4 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH MECHANICAL JOINT BOLTS.



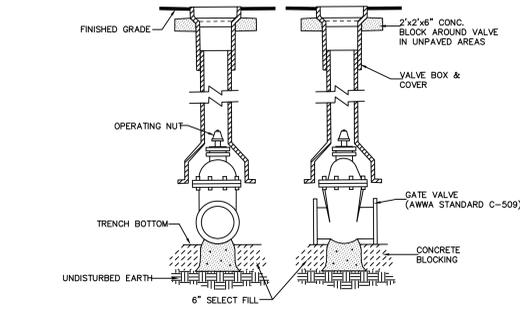
PIPE SIZE	THRUST BLOCK DIMENSIONS—BENDS							
	B1	D1	B2	D2	B3	D3	B4	D4
4"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-4"	2'-0"	2'-0"
6"	1'-0"	1'-0"	1'-4"	1'-4"	2'-0"	2'-0"	2'-6"	2'-6"
8"	1'-3"	1'-3"	2'-0"	2'-0"	2'-6"	2'-6"	3'-3"	3'-3"
10"	1'-6"	1'-6"	2'-6"	2'-6"	3'-0"	3'-0"	4'-0"	4'-0"
12"	2'-0"	2'-0"	2'-6"	2'-6"	3'-6"	3'-6"	4'-6"	4'-6"
18"	2'-4"	2'-4"	3'-3"	3'-3"	4'-6"	4'-6"	6'-3"	6'-3"
20"	2'-8"	2'-8"	3'-8"	3'-8"	5'-0"	5'-0"	7'-0"	7'-0"
24"	3'-0"	3'-0"	4'-0"	4'-0"	5'-8"	5'-8"	7'-8"	7'-8"
	3'-6"	3'-6"	5'-0"	5'-0"	7'-0"	7'-0"	9'-3"	9'-3"

- GENERAL NOTES:**
1. DIMENSIONS ARE BASED ON WATER PRESSURE OF 300 PSI AND EARTH RESISTANCE OF 4,000 PSF (COMPACT COARSE SAND OR GRAVEL HARDPAN). WHEN EARTH RESISTANCE IS 3,000 PSF (DRY SAND) MULTIPLY BEARING AREA IN TABLE BY 1.33. WHEN EARTH RESISTANCE IS 1,000 PSF (SOFT WET CLAY, SAND OR SILT) MULTIPLY AREA IN TABLE BY 4.
 2. FOR PIPE DIAMETERS NOT LISTED, USE NEXT LARGER PIPE DIAMETER.
 3. RETAINING RODS OR RESTRAINED JOINT PIPE, AS APPROVED BY ENGINEER MAY BE USED IN PLACE OF THRUST BLOCKS.
 4. ALL PIPES AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
 5. SHAPES OF THRUST BLOCKS MAY VARY AS LONG AS FOUR IS AGAINST UNDISTURBED EARTH.
 6. CONCRETE FOR THRUST BLOCKS SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 7. WHEN MORE THAN ONE SOIL TYPE IS ENCOUNTERED, THE ONE WITH LEAST BEARING CAPACITY SHALL BE USED TO DETERMINE MINIMUM REQUIRED BEARING AREAS.

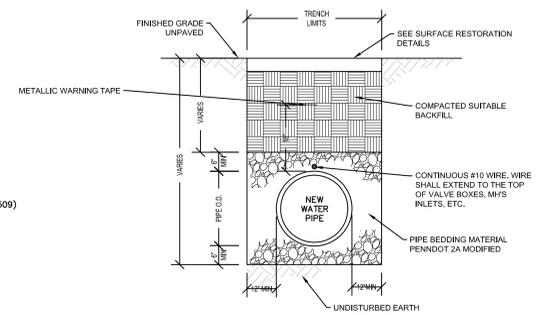
THRUST BLOCKING DETAIL
NOT TO SCALE



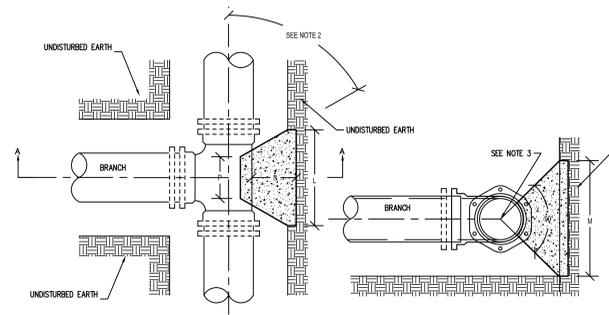
ADVANCED TURF EDGING TYPICAL SECTION
NOT TO SCALE



VALVE DETAIL
NOT TO SCALE



WATERLINE TRENCH BEDDING AND BACKFILL
NOT TO SCALE



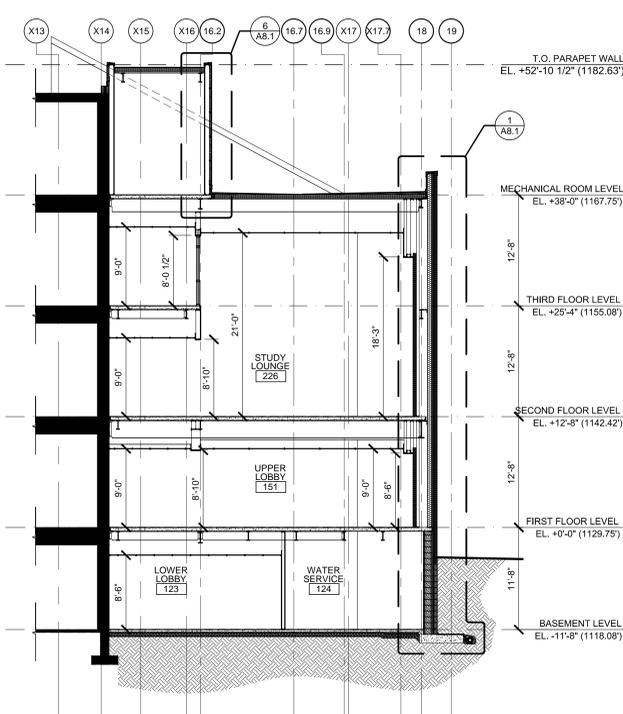
THRUST BLOCK TEE DETAIL
NOT TO SCALE

THRUST BLOCK—TEE				
B.D.	L	M	N	P
4"	1'-3"	1'-3"		
6"	1'-6"	1'-6"		
8"	2'-3"	2'-3"	SEE NOTE 2	SEE NOTE 4
10"	2'-6"	2'-6"		
12"	3'-3"	3'-3"		

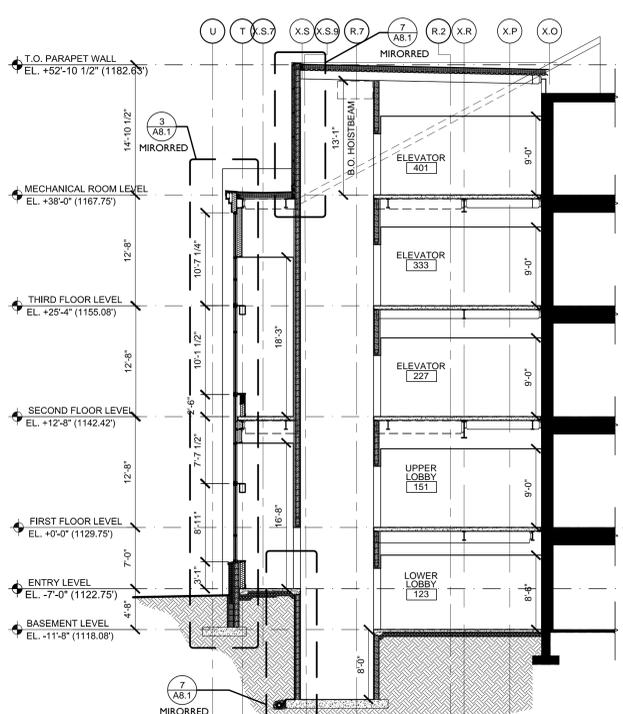
B.D.—BRANCH DIAMETER

- GENERAL NOTES:**
1. DIMENSIONS ARE BASED ON WATER PRESSURE OF 300 PSI AND EARTH RESISTANCE OF 4,000 PSF (COMPACT COARSE SAND OR GRAVEL HARDPAN). WHEN EARTH RESISTANCE IS 3,000 PSF (DRY SAND) MULTIPLY BEARING AREA IN TABLE BY 1.33. WHEN EARTH RESISTANCE IS 1,000 PSF (SOFT WET CLAY, SAND OR SILT) MULTIPLY AREA IN TABLE BY 4.
 2. SHAPES OF THRUST BLOCKS MAY VARY AS LONG AS FOUR IS AGAINST UNDISTURBED EARTH.
 3. FOR PIPE DIAMETERS NOT LISTED, USE NEXT LARGER PIPE DIAMETER.
 4. CONCRETE FOR THRUST BLOCKS SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 5. RETAINING RODS OR RESTRAINED JOINT PIPE, AS APPROVED BY ENGINEER MAY BE USED IN PLACE OF THRUST BLOCKS.
 6. ALL PIPES AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
 7. WHEN MORE THAN ONE SOIL TYPE IS ENCOUNTERED, THE ONE WITH LEAST BEARING CAPACITY SHALL BE USED TO DETERMINE MINIMUM REQUIRED BEARING AREAS.

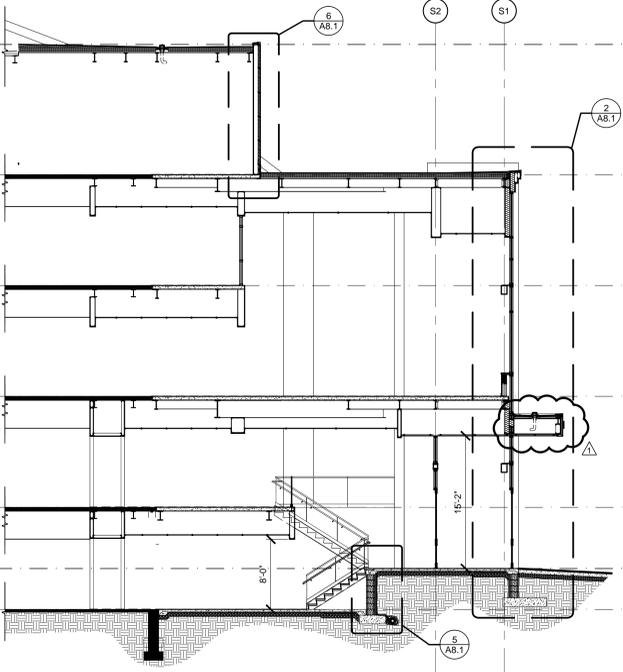
THRUST BLOCK—TABLE



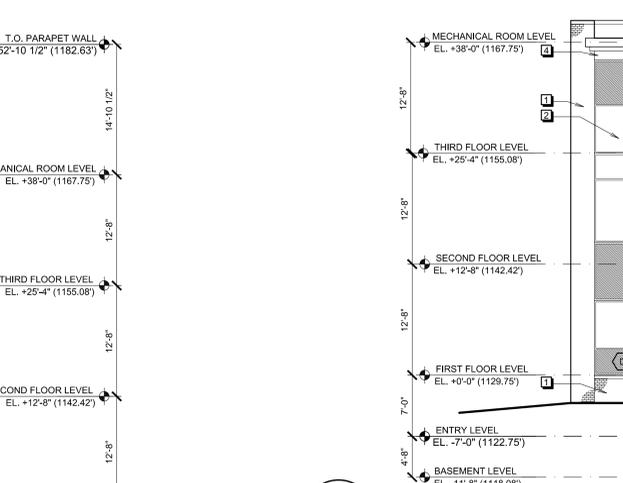
7 BUILDING SECTION
 A3.1 Scale: 1/8" = 1'-0"



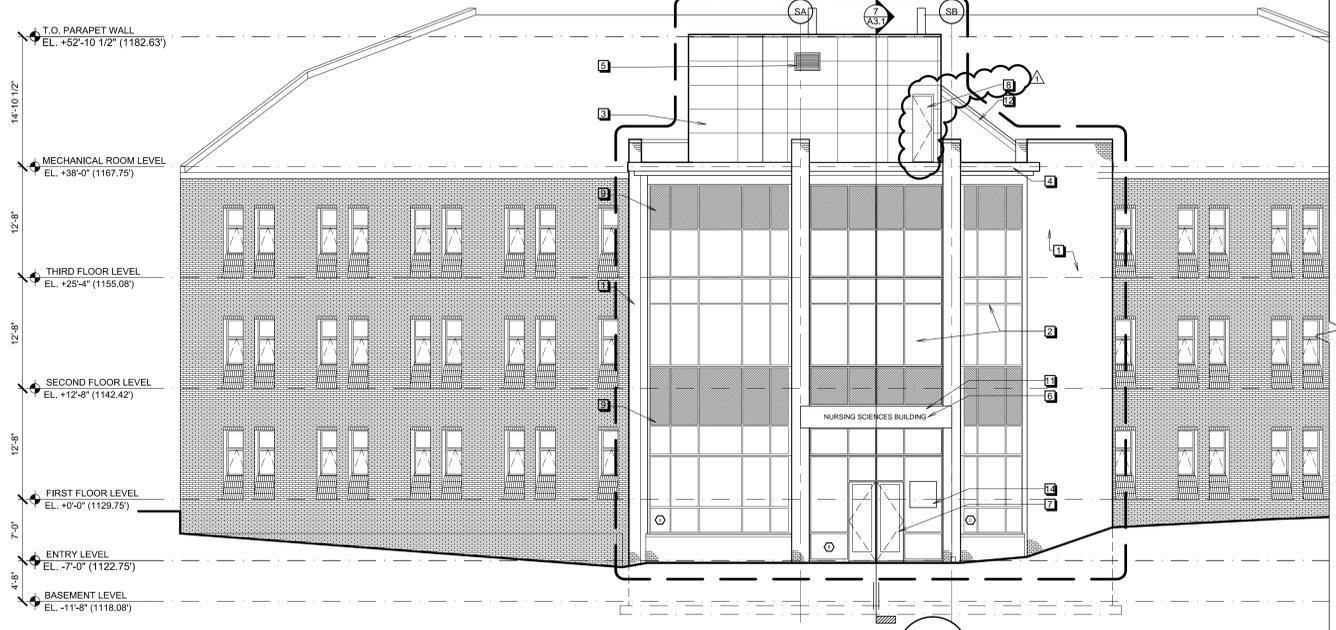
6 BUILDING SECTION
 A3.1 Scale: 1/8" = 1'-0"



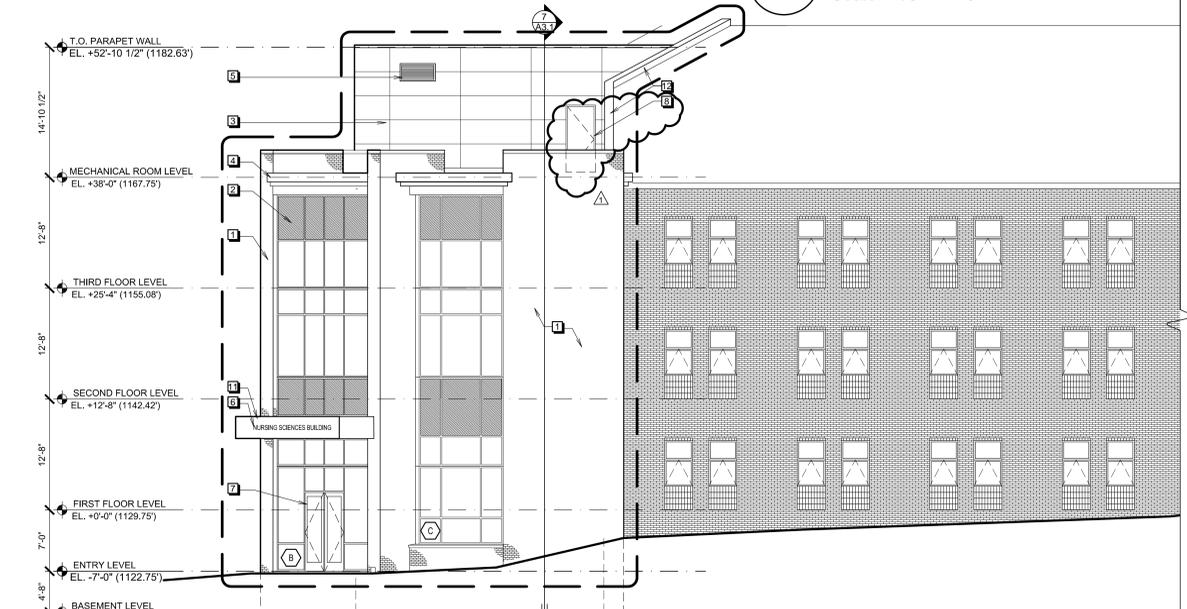
5 BUILDING SECTION
 A3.1 Scale: 1/8" = 1'-0"



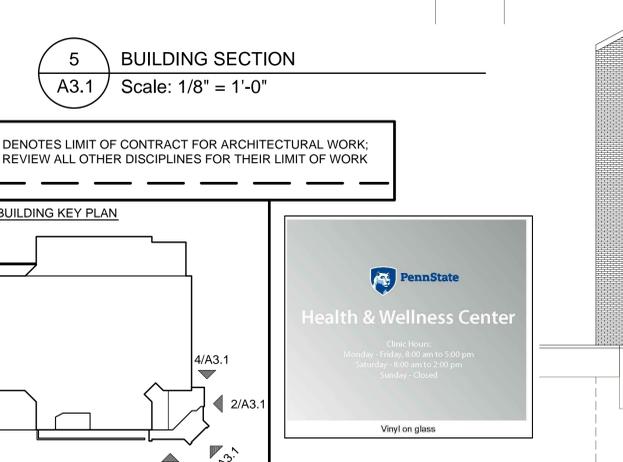
4 NORTHWEST ELEVATION
 A3.1 Scale: 1/8" = 1'-0"



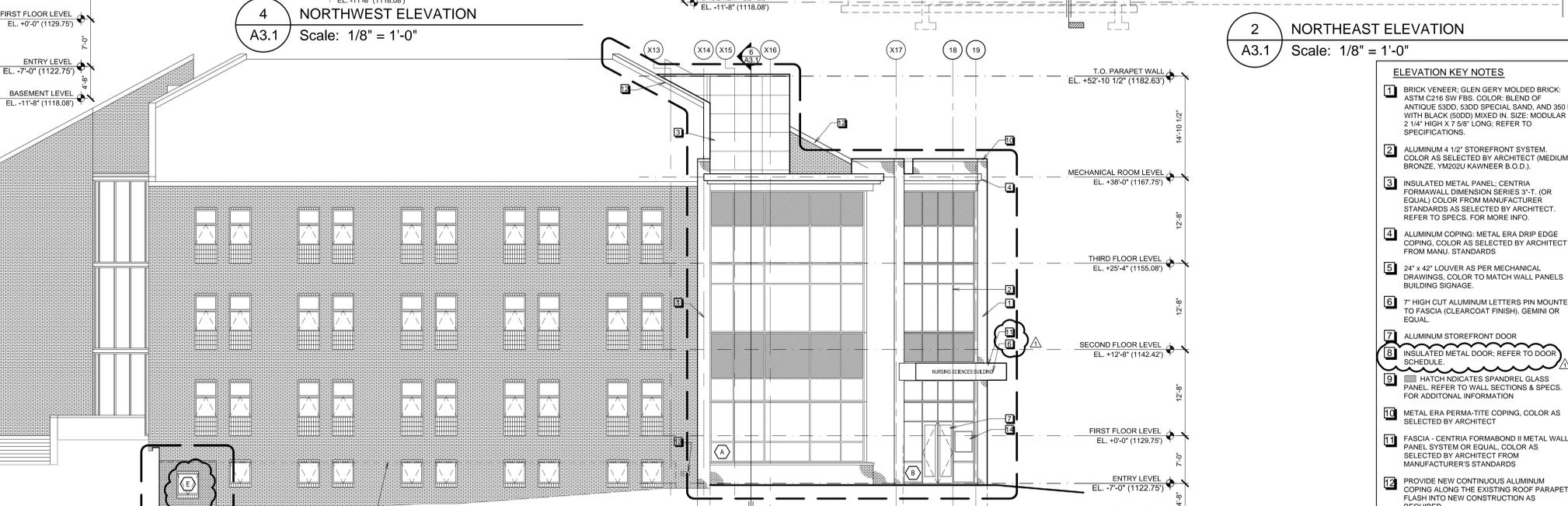
3 EAST ELEVATION
 A3.1 Scale: 1/8" = 1'-0"



2 NORTHEAST ELEVATION
 A3.1 Scale: 1/8" = 1'-0"



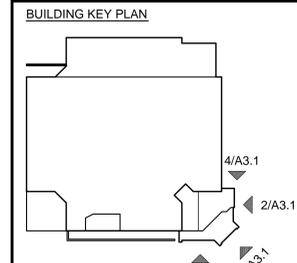
8 BUILDING SIGNAGE
 A3.1 N.T.S.



1 SOUTHEAST ELEVATION
 A3.1 Scale: 1/8" = 1'-0"

- ELEVATION KEY NOTES**
- BRICK VENEER: GLEN GERY MOLDED BRICK; ASTM C216 SW FBS. COLOR: BLEND OF ANTIQUE 6300, 5300 SPECIAL SAND, AND 350 M WITH BLACK (50D) MIXED IN. SIZE: MODULAR 2 1/4" HIGH X 7 5/8" LONG; REFER TO SPECIFICATIONS.
 - ALUMINUM 4 1/2" STOREFRONT SYSTEM. COLOR AS SELECTED BY ARCHITECT (MEDIUM BRONZE, YM202U KAWNEER B.O.D.).
 - INSULATED METAL PANEL: CENTRIA FORMAWALL DIMENSION SERIES 3"-T. (OR EQUAL) COLOR FROM MANUFACTURER STANDARDS AS SELECTED BY ARCHITECT. REFER TO SPECS. FOR MORE INFO.
 - ALUMINUM COPING: METAL ERA DRIP EDGE COPING. COLOR AS SELECTED BY ARCHITECT FROM MANU. STANDARDS.
 - 24" x 42" LOUVER AS PER MECHANICAL DRAWINGS. COLOR TO MATCH WALL PANELS BUILDING SIGNAGE.
 - 7" HIGH CUT ALUMINUM LETTERS PIN MOUNTED TO FASCIA (CLEARCOAT FINISH). GEMINI OR EQUAL.
 - ALUMINUM STOREFRONT DOOR.
 - INSULATED METAL DOOR: REFER TO DOOR SCHEDULE.
 - HATCH INDICATES SPANDREL GLASS PANEL. REFER TO WALL SECTIONS & SPECS. FOR ADDITIONAL INFORMATION.
 - METAL ERA PERMA-TITE COPING. COLOR AS SELECTED BY ARCHITECT.
 - FASCIA - CENTRIA FORMABOND II METAL WALL PANEL SYSTEM OR EQUAL. COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARDS.
 - PROVIDE NEW CONTINUOUS ALUMINUM COPING ALONG THE EXISTING ROOF PARAPET. FLASH INTO NEW CONSTRUCTION AS REQUIRED.
 - EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
 - PROVIDE VINYL SIGNAGE AT THIS LOCATION SEE IMAGEOR REQUIRED TEXT.

--- DENOTES LIMIT OF CONTRACT FOR ARCHITECTURAL WORK; REVIEW ALL OTHER DISCIPLINES FOR THEIR LIMIT OF WORK



Health & Wellness Center

Clinic Hours:
 Monday - Friday, 8:00 am to 5:00 pm
 Saturday, 9:00 am to 3:00 pm
 Sunday - Closed

Vinyl on glass

NOTE: WALL REMOVED FROM ELEVATION FOR CLARITY



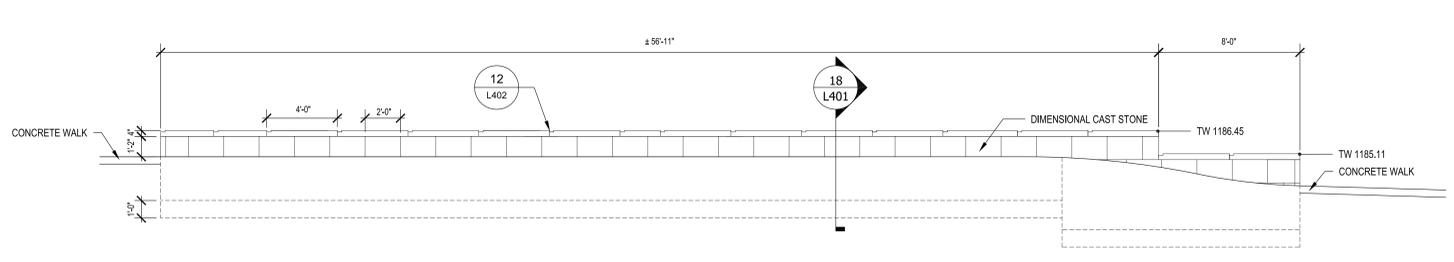
Aerial View (Source: Google Maps)

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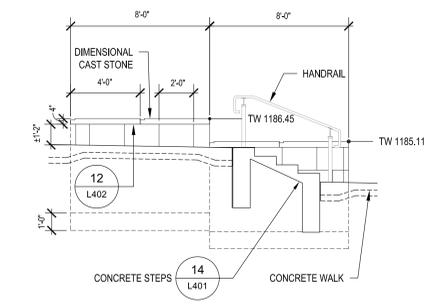
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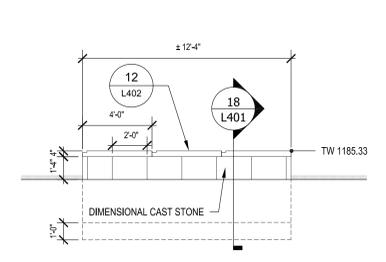
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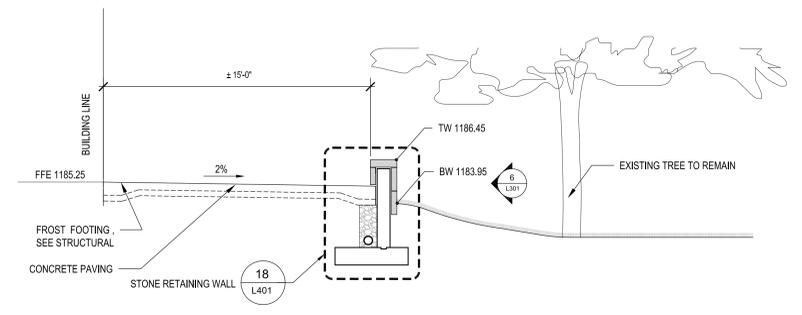
1 NEW HALL - SOUTH WALL 1 - UNFOLDED ELEVATION
1/4" = 1'-0"



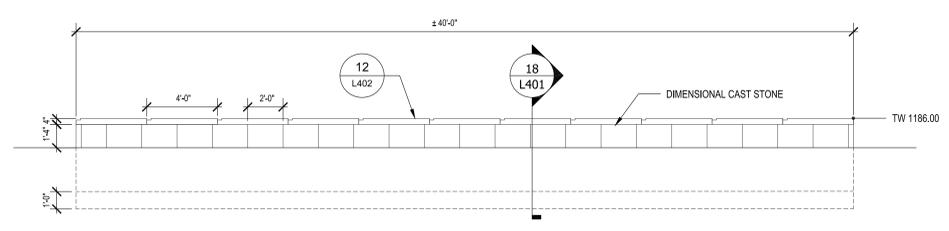
2 NEW HALL - SOUTH WALL 2 - ELEVATION
1/4" = 1'-0"



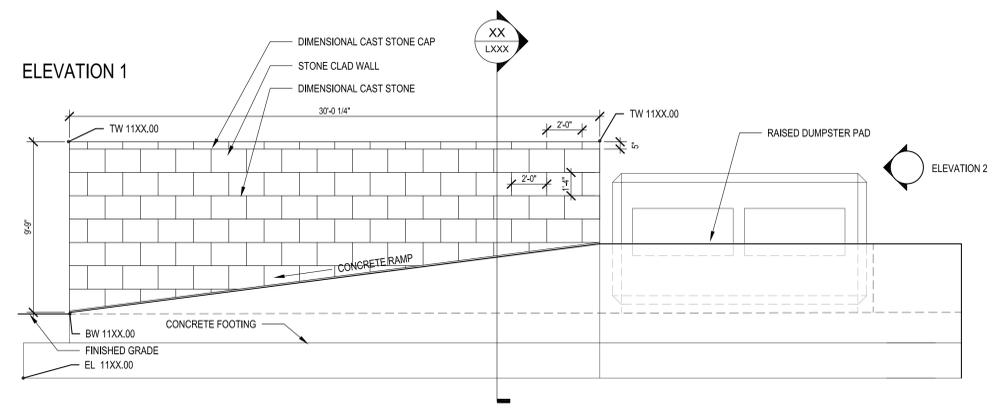
3 NEW HALL - SOUTH WALL 3 - UNFOLDED ELEVATION
1/4" = 1'-0"



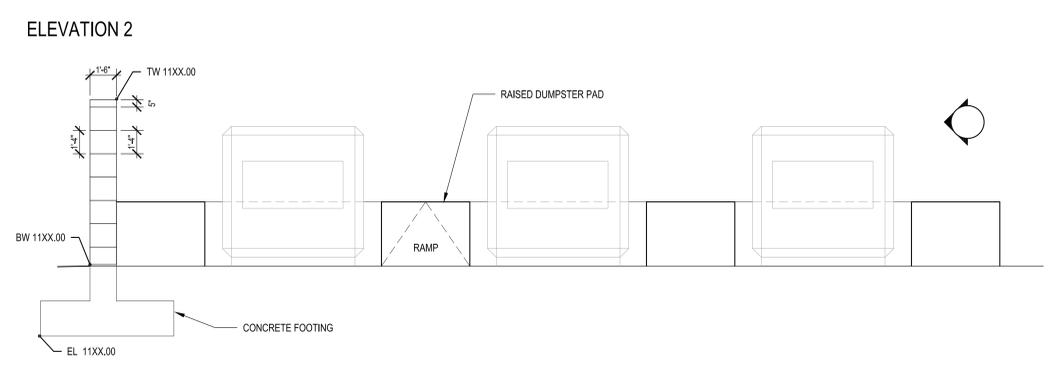
4 NEW HALL - SOUTH WALL SECTION
1/4" = 1'-0"



5 NEW HALL - NORTH WALL 1 - UNFOLDED ELEVATION (BASE BID)
1/4" = 1'-0"



6 DUMPSTER YARD SCREEN WALL - WEST ELEVATION B
1/4" = 1'-0"



7 DUMPSTER YARD SCREEN WALL - EAST ELEVATION C
1/4" = 1'-0"

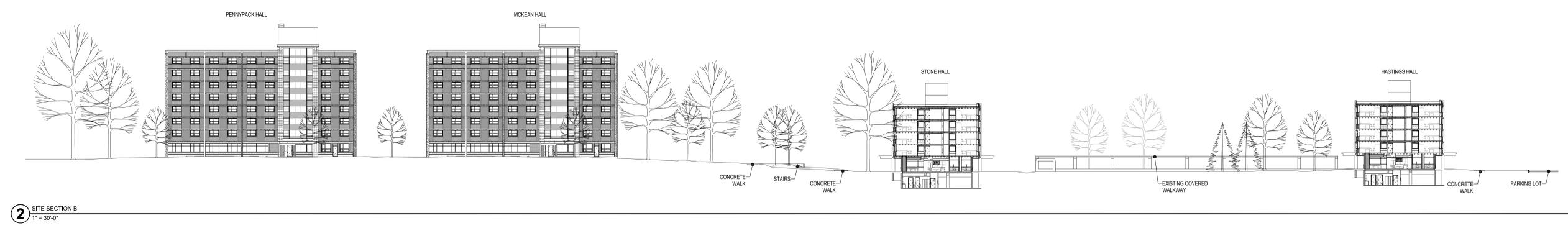
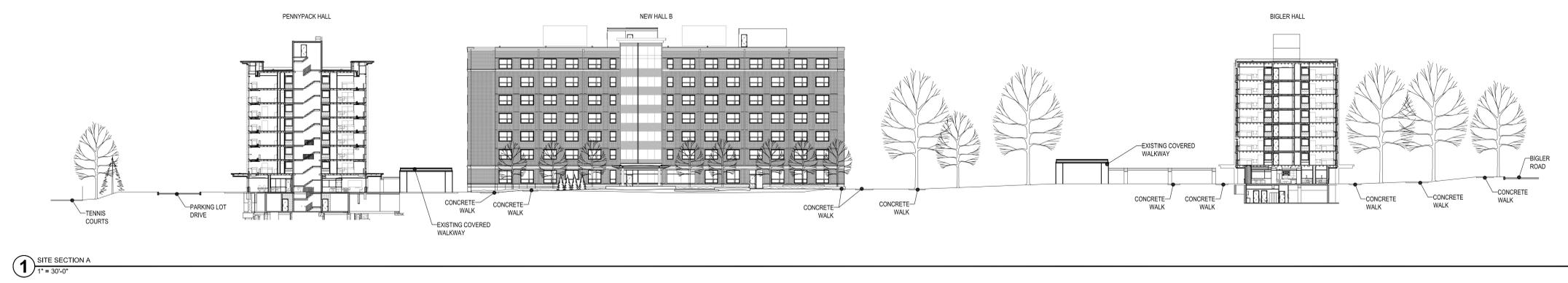
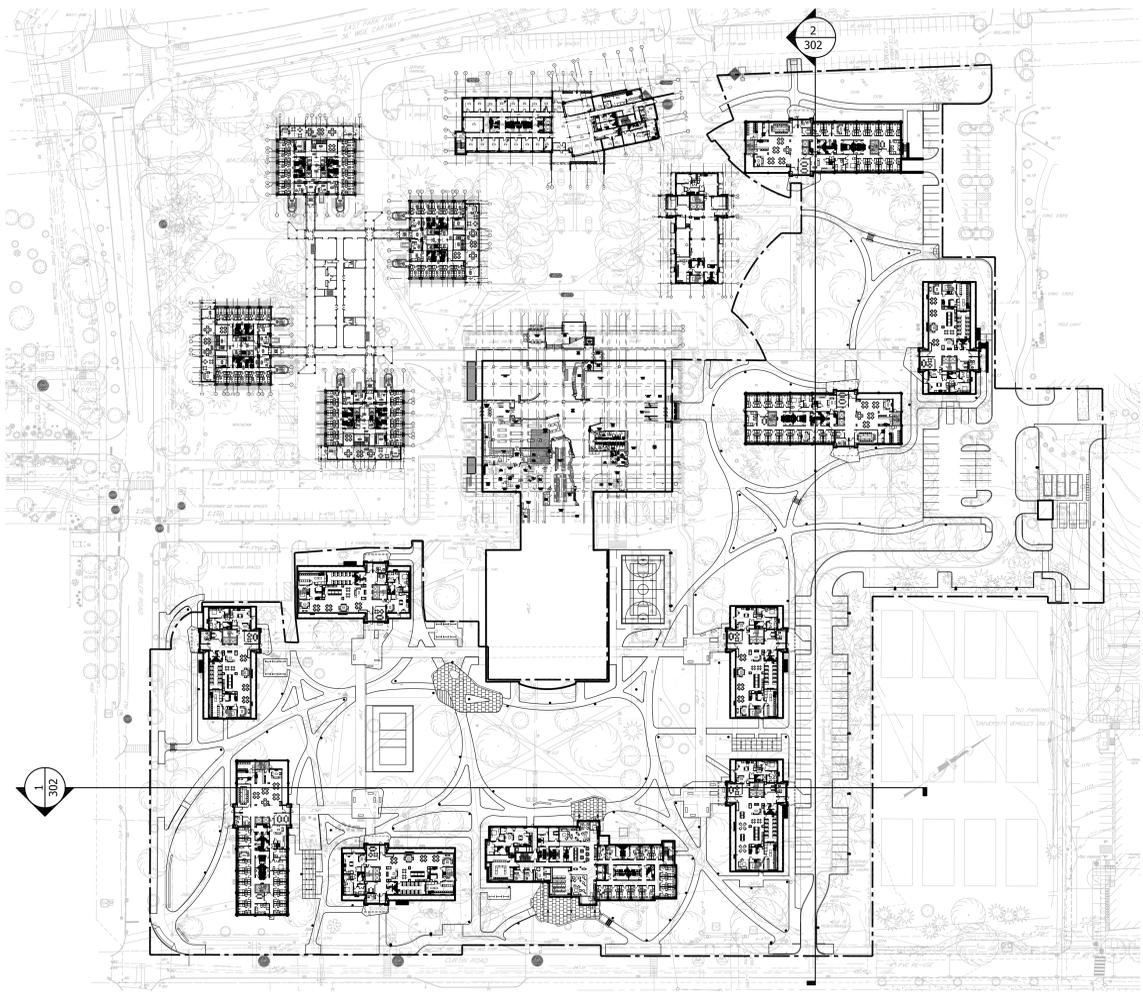
REV	DATE	DESCRIPTION

PROJECT & SHEET TITLE
**EAST HALLS NEW RESIDENCE HALL AND RENOVATIONS
EAST HALLS, PENN STATE
UNIVERSITY PARK, PA 16802
SITE SECTIONS / ELEVATIONS**



DATE: 8-22-2016
PSU# 00-04724.00
BLDG# 0251-0000
FORUM # 602-01856

SHEET #
L301



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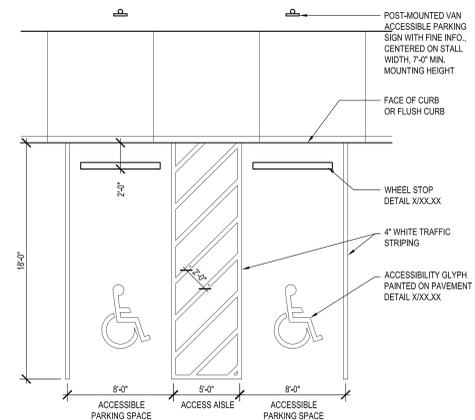
REV	DATE	DESCRIPTION

PROJECT & SHEET TITLE
EAST HALLS NEW RESIDENCE HALL AND RENOVATIONS
EAST HALLS, PENN STATE
UNIVERSITY PARK, PA 16802
SITE SECTIONS / ELEVATIONS

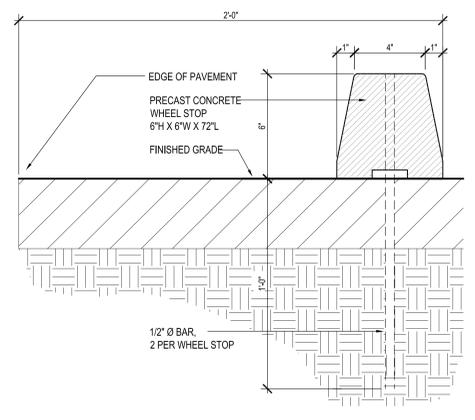


DATE: 8-22-2016
PSU# 00-04724.00
BLDG# 0251-0000
FORUM # 602-01856

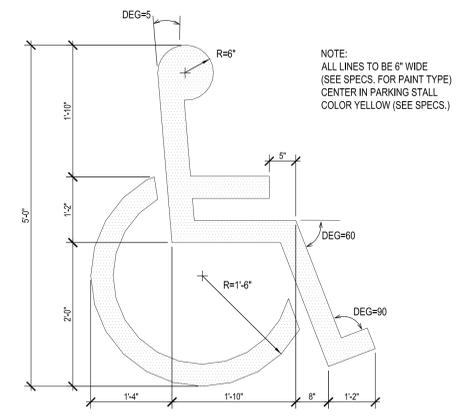
SHEET #
L302



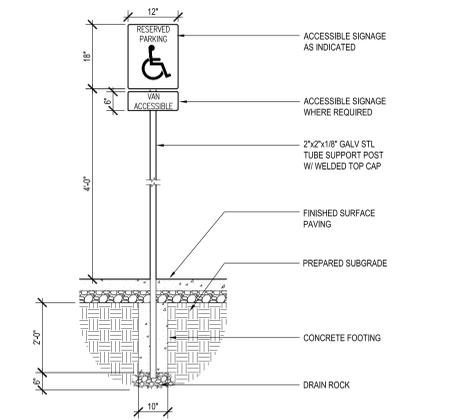
1 ACCESSIBLE PARKING SYMBOL
3/16" = 1'-0"



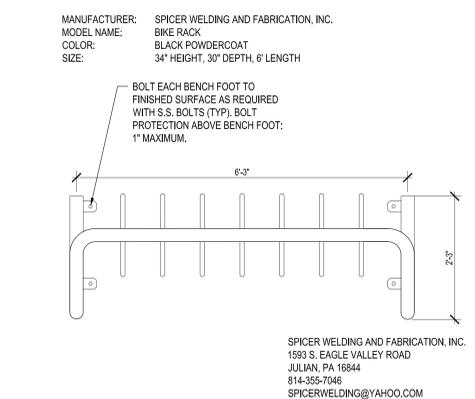
2 WHEEL STOP
3" = 1'-0"



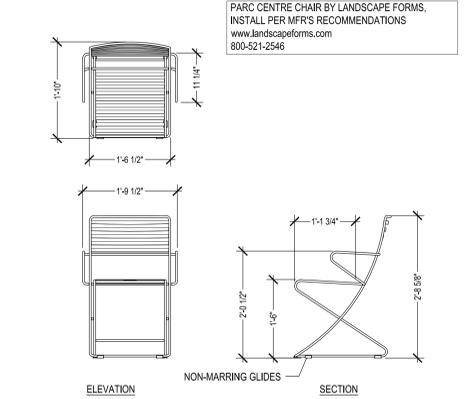
3 ACCESSIBLE PARKING SYMBOL
1" = 1'-0"



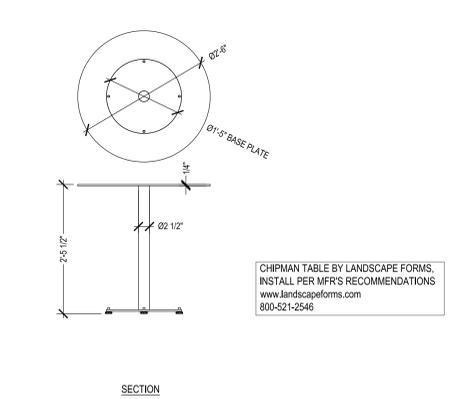
4 ACCESSIBLE PARKING STALL SIGNAGE
1/2" = 1'-0"



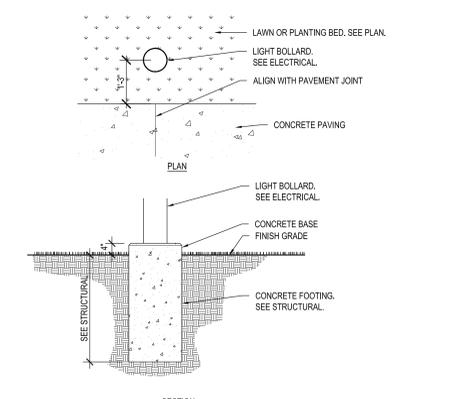
5 BIKE RACK
NTS



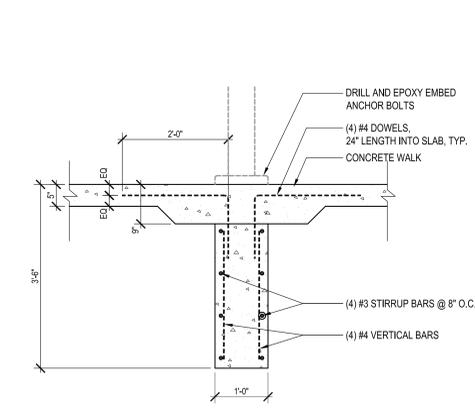
6 MOVABLE CHAIR AND TABLE
3/4" = 1'-0"



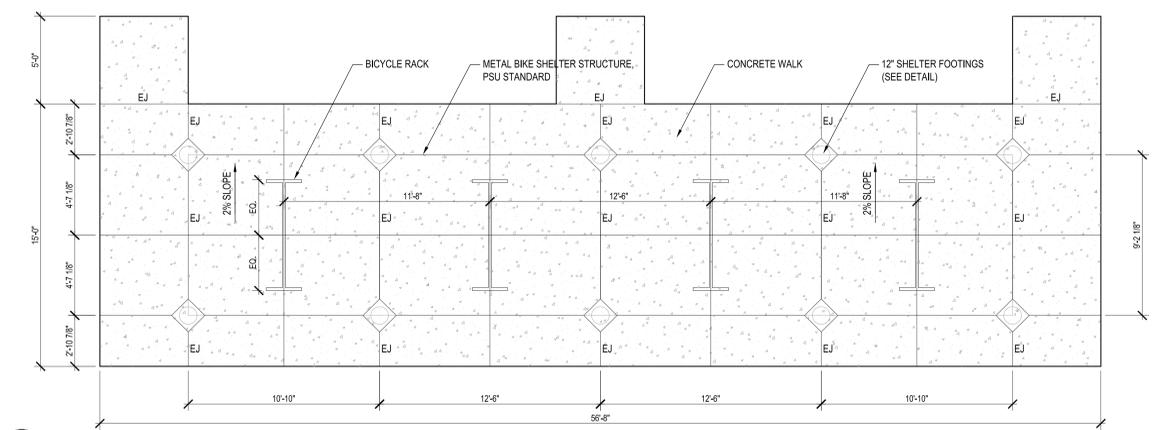
7 BOLLARD MOUNT IN LAWN
1/2" = 1'-0"



8 PEDESTRIAN POLE MOUNT IN LAWN
1/2" = 1'-0"



9 BIKE SHELTER FOOTING
3/4" = 1'-0"



10 BIKE SHELTER
1/4" = 1'-0"

REV	DATE	DESCRIPTION

PROJECT & SHEET TITLE
EAST HALLS NEW RESIDENCE HALL AND RENOVATIONS
EAST HALLS, PENN STATE
UNIVERSITY PARK, PA 16802
SITE DETAILS



DATE: 8-22-2016
PSU# 00-04724.00
BLDG# 0251-0000
FORUM # 602-01856

SHEET # **L403**

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DESIGN / BUILD TEAM

PROJECT & SHEET TITLE

SEAL

PROJECT #
SHEET #

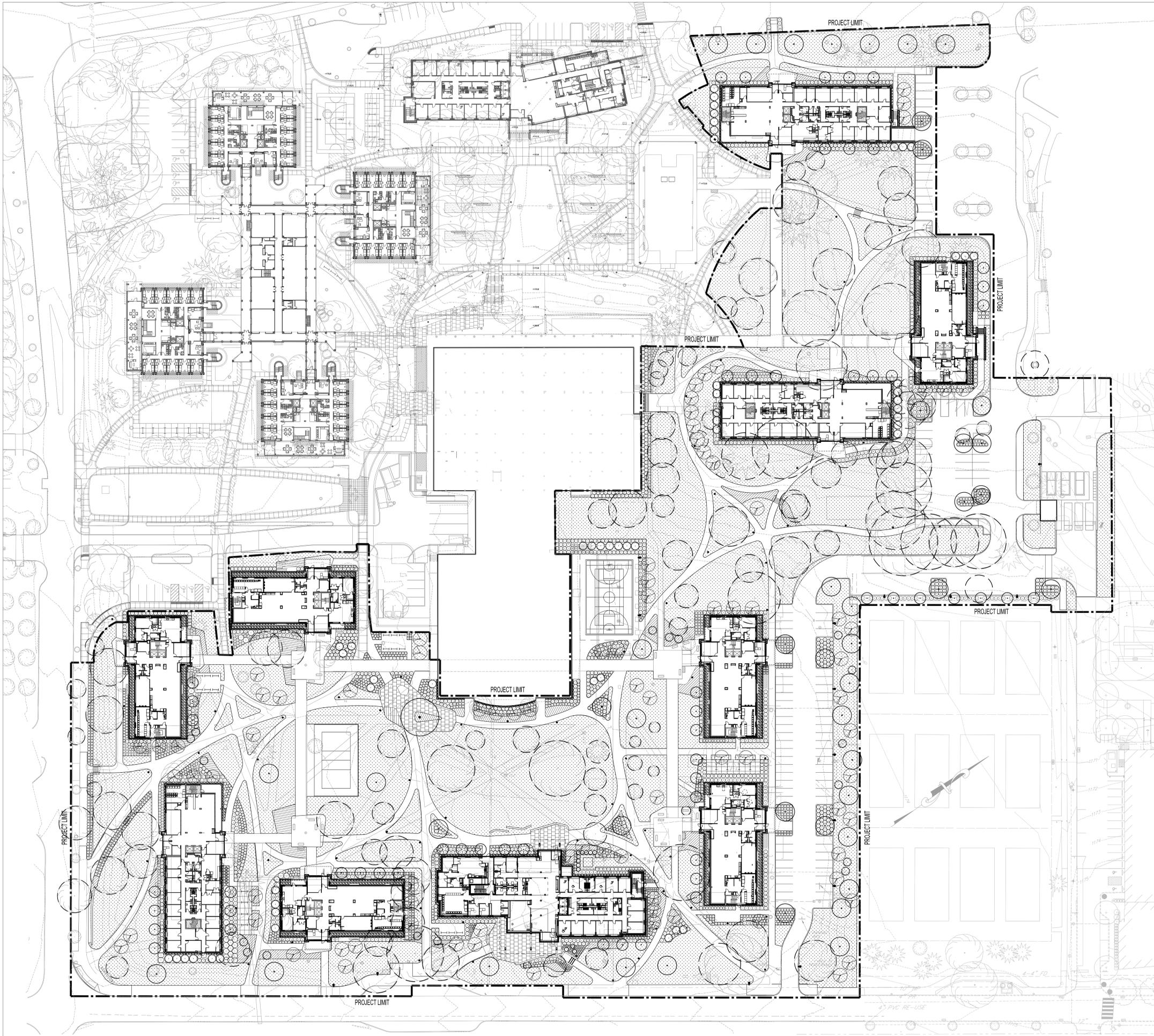
**EAST HALLS NEW RESIDENCE HALL AND RENOVATIONS
EAST HALLS, PENN STATE
UNIVERSITY PARK, PA 16802**

PLANTING PLAN



DATE: 8-22-2016
**PSU# 00-04724.00
BLDG# 0251-0000
FORUM # 602-01856**

L601



SHEET NOTES

SYMBOL	DESCRIPTION	DETAIL(S)	SHEET
○			

LEGEND

SYMBOL	DESCRIPTION	DETAIL(S)	SHEET
○	ORNAMENTAL TREE	.	.
○	EVERGREEN TREE	.	.
○	CANOPY TREE	.	.
○	EVERGREEN SHRUB	.	.
○	DECIDUOUS SHRUB	.	.
□	LAWN SEED		
▨	MIXED PLANTING BED		

1 PLANTING PLAN
1" = 40'-0"



2016 STATE COLLEGE DESIGN REVIEW BOARD WORK PROGRAM

Approved by the Design Review Board on January 19, 2016.

Approved by Borough Council _____

Key: I= Initiative Discussion, IP= In Progress, C=Complete
 R/C=Review and Comment, BC=Refer to Council

		Priority	Relationship to Strategic Goals	1 st Quarter	2 nd Quarter	3 rd Quarter	4 th Quarter
<u>ROUTINE ACTIVITIES</u>							
1	Plan and Reviews *	High	These activities vary greatly in their scope and support the 2009 Strategically Plan Goals.				End of Year Report to Council on DRB Activities & 2016 Work Program
	Holtzman Award (spring)						
	Items Referred By Council and Planning Commission*						
	Focus on Appearance Award (fall/winter)						
	Update DRB webpage*				I	C	
Review DRB Mission*							
<u>OTHER ACTIVITES</u>							
3	Design Review Board FAQ for webpage	Future	Goal 1: Maintain safe, stable attractive neighborhoods	I	I	IP	C
4	Participate when appropriate in ways to improve public space*	Future	Goal 1: Maintain safe, stable attractive neighborhoods				
6	Downtown Master Plan Activites*	Future	Goal 1: Maintain safe, stable attractive neighborhoods				

* as needed