

Meeting Agenda
State College Borough Design Review Board
March 15, 2016
Room 241 / 10 a.m.

I. Call to Order

II. Roll Call

Richard Bryant, Chair
Justin Wheeler, Vice-Chair
Richard Devon
Bond Reinhardt
Alexandra Staub

III. Approval of Minutes

IV. Chair Report

V. Public Hour - Hearing of Citizens

VI. Land Development Plan

A. 233 Easterly Parkway, Easterly Parkway Townhomes Preliminary Plan, R-3 Zoning District, PennTerra, Engineer, Albert A. Drobka, Architect

This proposal involves the construction of 12 townhomes. These homes are located at the rear of the property due to the office buildings located at the front of the building.

Attached to the agenda on **pages 7-12** are an aerial, plans and elevation of the proposal for the Board to review as well as the applicable section of the ordinance.

Design Review Board Action: The Board is asked to review the application and make a recommendation in the form of a motion to the Planning Department.

B. 705 South Atherton Street, Penn Mobil Reconstruction and addition, Preliminary Plan, CP-3 Zoning District, PennTerra, Site Engineer, Lichty Engineering, Building Engineer

The property suffered from a fire in 2015 that requires the building to be demolished. The property owner would like to reconstruct using the original footprint of the building. The ordinance permits this when an accident such as a fire occurs.

In addition to the reconstruction, the owner would like to construct a second floor commercial space. This had been a plan of the property owner prior to the fire. The second floor space was granted a variance for setbacks due to the nonconforming placement of the original structure. This variance was granted in 2007.

Attached to the agenda on **pages 13-20** are an aerial, plans and elevation of the proposal for review by the Board.

Design Review Board Action: The Board is advisory to the Borough. Comments from the board will assist the design team to consider additional design options or modifications but they cannot be mandated. No formal motion required. Staff will summarize the Boards comments and forward comments to the applicant as part of the preliminary plan review letter.

VII. Work Program

A. 2016 Holtzman Award

The Ingrid P. Holtzman award is given at the annual ABC dinner to an individual or organization that provides a quality design project to the community.

The design project can meet many of the following guidelines:

- Incorporates local artwork
- Provides a public space for community for events or is a charitable use (i.e. affordable housing)
- Uses elegant building materials, innovated plantings, and sustainable products
- Blends neighborhoods and maintains the historic character of the property/or neighborhood
- Provides a nice site and has outstanding design features
- Is deemed a benchmark project

Additional information on the award is provided on **pages 21-23**. The link to view previous recipients is <http://www.statecollegepa.us/index.aspx?NID=1728>. During the last meeting staff provided a few examples for the Board to consider. A few ideas were noted and are listed below:

- Liberty Craft House – façade change
- Kitchen Kaboodle window display
- Local Whiskey
- State Theatre

Board members are encouraged to find additional examples they would like to include in the discussion.

DRB Action: Discuss possible candidates for the 2016 Holtzman Award.

VIII. Official Reports and Correspondence

A. Borough Council

B. Planning Commission

IX. Adjournment

**Meeting Minutes
State College Borough Design Review Board
March 1, 2016**

The State College Borough Design Review Board (DRB) met on Tuesday, March 1, 2016 in the State College Borough Municipal Building, 243 South Allen Street in Room 241. Chairman Rick Bryant called the meeting to order at 10:03 a.m.

Members present

Rick Bryant, Chairman; Justin Wheeler, Vice-Chairman; Richard Devon and Alexandra Staub

Others Present:

Anne Messner, Planner/Zoning; Denise Rhoads, Staff Assistant; Alan Sam, Environmental Coordinator/Arborist; Mark Saville, Sweetland Engineering and other interested parties

Approval of Minutes

Ms. Staub made a motion to approve the February 16, 2016 minutes as submitted and Mr. Wheeler seconded the motion. The vote was unanimously in favor.

Chair Report

Public Hour

No one in the audience wished to discuss items not on the agenda.

Land Development Plan

Modified Final Plan, East Halls Renovation Project including Findlay Commons, UPD Zoning District, Subdistrict 5, The Pennsylvania State University, owner, Sweetland Engineering & Associates, Engineer, WTW Architects, Architect

Rick O'Donald, Adam Stech and Mr. Saville's highlights included:

- This revised final plan includes the modification of Findlay Commons that is part of the East Halls Renovation Project.
- Penn State University intends to renovate the existing interior of the Findlay Commons building and construct a vestibule and floor space area on the north side of the building. The new build out will be a two-story stairwell with a glass exterior surface.
- The project will demolish an existing overhang (approximately 682 square feet of demolition) on the north side of the building to construct the new build out.
- The final floor space will be approximately 125,361 square feet; proposed improvements provide an overall increase of 4,373 square feet.

- Building renovation will include a new thermal envelope, windows, doors, and insulated walls; new interior doors, hardware, and finishes throughout; and plumbing, HVAC, fire protection, lighting, power, and fire alarm system upgrades throughout.
- The first floor will be converted into a study space.
- Exterior features such as landscaping and sidewalk are part of the East Halls Residence project. Stormwater management will be permitted as part of the East Halls Renovation and Addition NPDES Permit.
- Existing building is precast concrete and basic steel. They will be freshening up the paint.
- All the glazing will be replaced.

Boards' comments included:

- Mr. Devon stated this building looks utilitarian. He suggested some plantings to help with this. He encouraged the developer to use some sort of art to make the building "pop".
- Ms. Staub stated the existing building reminded her of North Halls. She also asked if there will be exterior seating. Mr. O' Donald stated there will be. She stated she liked the plan. She also suggested using the large windows for displays.
- Chairman Bryant stated he would have liked to see more pictures of the building to give the Board a better idea of the plan.
- Mr. Wheeler stated it is an attractive building but, it seemed bare. He suggested placing some planters or anything that would soften that area up.

Mr. Sam stated he had met with some students in Johnson Hall about putting in a Farmers Market. Mr. O' Donald stated there is a program to buy locally grown food. He said there may be an opportunity for something like this.

Preliminary Plan Agriculture Engineering Replacement Building and renovation of Klauder Building, UPD Subdistrict 5 Zoning District, The Pennsylvania State University, owner Sweetland Engineering and Associates, Engineer

Mr. Saville's Highlights:

- The project will include the renovation of the existing Klauder Building and the demolition and replacement of the remainder of the Agricultural Engineering building.
- There will be a slight modification to the parking area.
- They will be adding bike racks.
- The project will result in 76,551 floor area. Also included in this project will be utility upgrades, site grading and repaving of the parking lot and some of the walk ways.
- Will try to maintain the underground utilities.
- Together this will result in a 3,200 square foot increase in impervious area.
- The current "breather" area between the current Klauder Building and what will be the new addition will then become the new entrance.
- There will be laboratory spaces on the first floor.

- The addition will be a contemporary building while utilizing the historical aspect of the current Klauder Building.
- They will maintain the original brick and limestone.

Boards' comments included:

- Mr. Wheeler stated he does not think what is intended as the new entrance looks much like an entrance.
- Ms. Staub and Mr. Wheeler suggested bringing the entrance out more closer to Shortlidge Road.

Mr. Sam asked if they will be eliminating the sidewalk on the North side. Mr. Saville stated yes they will be removing that.

Ms. Messner stated she will summarize the Board's comments.

Work Program

2016 Holtzman Award

After some discussion some possible candidates suggested were:

- Liberty Craft House – façade change
- Kitchen Kaboodle window display
- Local Whiskey
- State Theatre

Official Reports and Correspondence

Borough Council (BC): Ms. Messner reported will be acting on the Work Program on March 14. She noted Mr. Wheeler gave a nice presentation.

Planning Commission (PC): Ms. Messner reported the PC will be seeing the same proposals that DRB saw today.

Zoning Hearing Board (ZHB): Ms. Messner reported ZHB will be hearing a variance on Fraser Centre signage.

Adjournment

With no further business to discuss, this meeting was adjourned at 11:13 a.m. by Chairman Bryant.

Respectfully submitted by,
Denise L. Rhoads, Staff Assistant

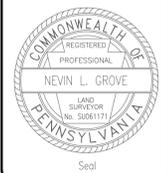
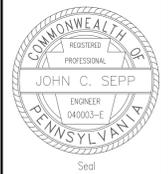


McCormick Ave.

Easterly Pkwy.

STATE COLLEGE AREA JOINT SCHOOL DISTRICT





Designer	MLH
Draftsman	MLH
Proj Manager	MAT
Surveyor	
Perimeter Ck.	
Book	Pg
Acad	15015-02-EX-CON
Layout	EX-CON

Date	Description	REVISIONS

EASTERLY PARKWAY VILLAS

STATE COLLEGE BOROUGH
 CENTRE COUNTY
 PENNSYLVANIA

FINAL LAND DEVELOPMENT PLAN

EXISTING CONDITIONS PLAN

PROJECT NO.	15015
DATE	FEBRUARY 16, 2016
SCALE	1"=30'
SHEET NO.	2 of 15

EXISTING FEATURES LEGEND

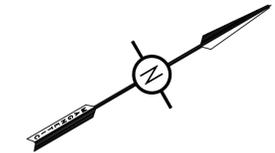
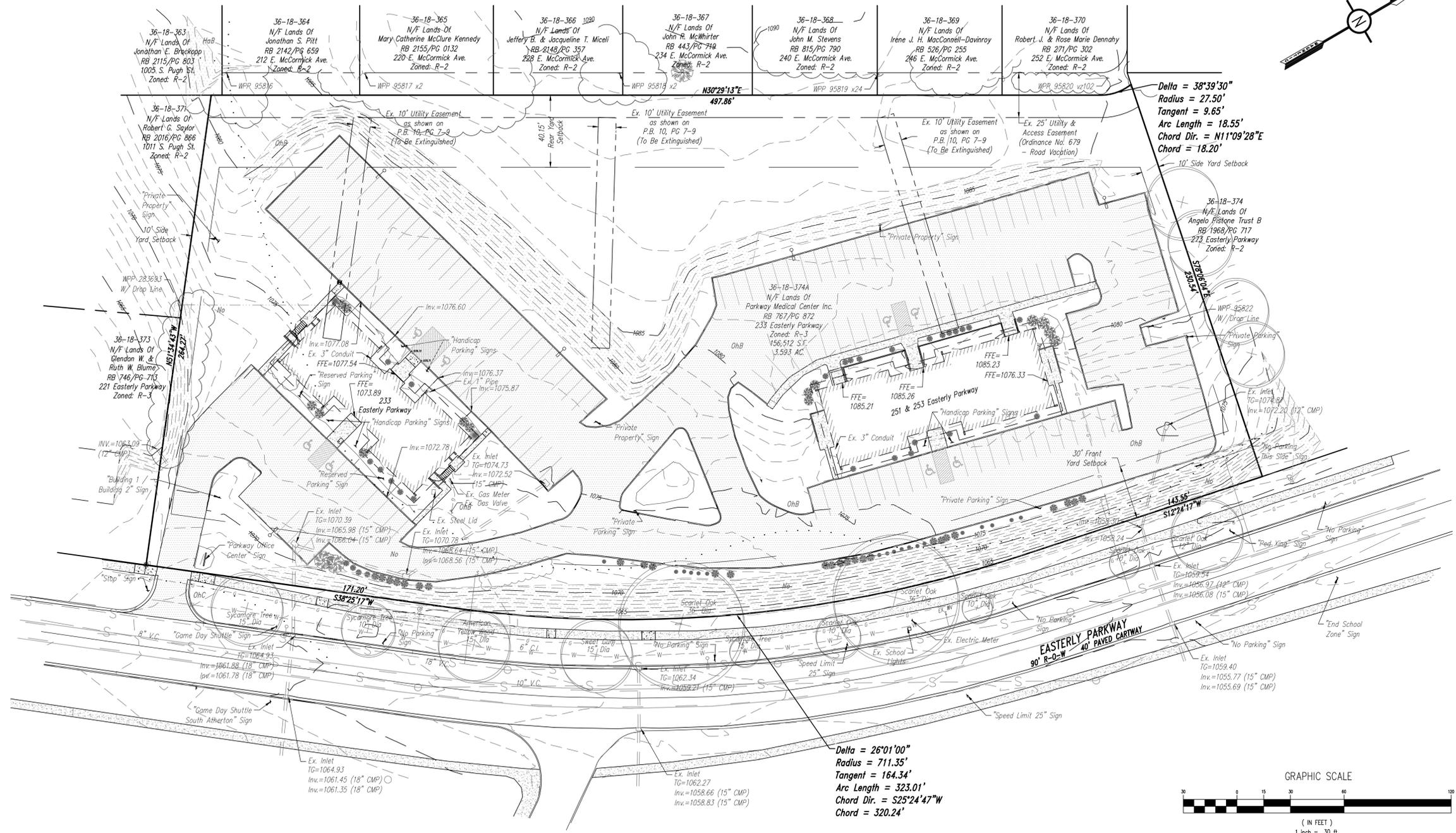
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Concrete Areas
- Existing Pavement Areas
- Existing Wall
- Existing Tree Line
- Existing Sanitary Sewer w/ Manhole
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Tree or Shrub
- Existing Shrub
- Existing Evergreen Tree
- Existing 25% Slopes Or Greater

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- I.P. Found
- I.P. To Be Set
- Project Benchmark

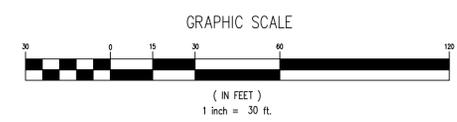
SOILS LEGEND

Soil cover on the site consists of:
 No - Mohr silt loam, 3%-8% Slopes
 OhB - Opequon-Hagerstown complex, 3%-8% Slopes
 OhC - Opequon-Hagerstown complex, 8%-15% Slopes



Delta = 38°39'30"
Radius = 27.50'
Arc Length = 18.55'
Chord Dir. = N11°09'28"E
Chord = 18.20'

Delta = 26°01'00"
Radius = 711.35'
Tangent = 164.34'
Arc Length = 323.01'
Chord Dir. = S25°24'47"W
Chord = 320.24'



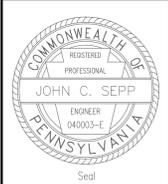
PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-231-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

WWW.PENNTERRA.COM

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Designer: MLH
 Draftsman: MLH
 Proj/Manager: MAT
 Surveyor: _____
 Perimeter Clk: _____
 Book: _____ Pg: _____
 Acad: 15015-03-DEMO
 Layout: DEMO

Date	Description	REVISIONS

Date	Description	REVISIONS

EASTERLY PARKWAY VILLAS

STATE COLLEGE BOROUGH
 CENTRE COUNTY
 PENNSYLVANIA

FINAL LAND DEVELOPMENT PLAN

DEMOLITION PLAN

PROJECT NO.
 15015

DATE
 FEBRUARY 16, 2016

SCALE SHEET NO.
 1"=30' **3** of 15

CONSTRUCTION & DEMOLITION NOTES

- FIELD SURVEY DATA PREPARED BY PENNTERRA ENGINEERING, INC. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION AND CONTACT THE SITE OWNER OR OWNER'S REPRESENTATIVE IN THE EVENT OF A DISCREPANCY.
- CONTRACTOR SHALL VERIFY THE LOCATION OF MANHOLES, INLETS VALVES, ETC. CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AS DEEMED NECESSARY WITHIN THE LIMITS OF CONSTRUCTION TO DETERMINE THE EXACT LOCATION AND DEPTH AS REQUIRED. ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE, AND APPURTENANCES SHALL BE ADJUSTED TO FINAL GRADE. DAMAGE TO EXISTING CONDITIONS AND UTILITIES TO REMAIN SHALL BE REPAIRED AS REQUIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- ALL EXISTING UTILITIES NOT TO BE REMOVED OR ABANDONED ARE TO REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
- ALL AREAS DISTURBED DURING CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING OR MULCH SHALL BE FINE GRADED, TOPSOILED, & SEEDED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL REPAIR OR REPLACE ALL CURB, PAVEMENT, UTILITIES, SIDEWALKS, LANDSCAPING, ETC., WITHIN THE SITE DAMAGED DURING CONSTRUCTION THAT ARE NOT INDICATED TO BE REMOVED. ALL REPAIRS OR REPLACEMENTS ARE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISH GRADES WITHIN THE LIMITS OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES ON LOCATION/REMOVAL AND/OR REPLACEMENT OF ELECTRICAL, PHONE, GAS, SANITARY, WATER AND CABLE SERVICES.
- ALL PAVING TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A SHARP CLEAN EDGE. EXISTING BITUMINOUS PAVEMENT SHALL BE REMOVED AS REQUIRED FOR NEW CURB, WALKWAY OR UTILITY CONSTRUCTION. REFER TO DETAIL SHEET FOR SPECIFIC CURB TYPE OF INSTALLATION. CONTRACTOR SHALL THEN MILL AND/OR PATCH BITUMINOUS PAVING AND INSTALL SCRATCH COURSE AS REQUIRED TO MEET EXISTING OR PROPOSED GRADES. ALL NEW BITUMINOUS PAVING JOINTS SHALL BE SEALED WITH AC-20.
- CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING PAVING AT NEW PAVING CONNECTION LOCATIONS PRIOR TO THE PAVING SUBBASE INSTALLATION AND REPORT ANY DISCREPANCIES THAT WILL AFFECT THE DRAINAGE OF THE AREAS TO THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL NOTIFY OWNER'S TESTING AGENCY PRIOR TO ANY PLACEMENT AND COMPACTION OF FILLS ON THE SITE. FILL AREAS SHALL BE PREPARED AND COMPACTED PER THE PROJECT SPECIFICATIONS AND CERTIFIED BY THE OWNER'S TESTING AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, RE-TESTING, AND REPLACEMENT OF FILLS NOT MEETING THE SPECIFICATIONS. CONTRACTOR IS ALSO RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH REPLACEMENT OF FILLS NOT MEETING THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY ASSIGNED INSPECTION AGENCY PRIOR TO ANY RETAINING WALL CONSTRUCTION. RETAINING WALLS SHALL BE CONSTRUCTED PER THE PROJECT SPECIFICATION APPROVED BUILDING PERMIT AND CERTIFIED BY THE ASSIGNED INSPECTION AGENCY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF CONTRACT DOCUMENTS ON SITE TO BE UTILIZED FOR RECORD DOCUMENTS. FIELD RECORDS OF THE DEPTH AND LOCATIONS OF ALL UNDERGROUND SERVICE UTILITIES (WATER, SANITARY SEWER, STORM DRAINS, PRIMARY AND SECONDARY ELECTRIC, GAS, AND CABLE TELEVISION) SHALL BE ADDED TO THE RECORD SET BY THE CONTRACTOR AS WELL AS ALL FIELD REVISIONS AND ADJUSTMENTS.
- CONTRACTOR SHALL CONTACT PA ONE CALL SYSTEM @ 1-800-242-1776 AT LEAST THREE (3) DAYS PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL DEMOLITION WASTE & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROJECT BY THE CONTRACTOR. WASTE MATERIAL MUST BE DISPOSED AT STATE APPROVED WASTE SITE IN ACCORDANCE WITH D.E.P. CLEAN FILL REGULATORY. CONTRACTOR MUST ALSO ADHERE BY ALL LOCAL, STATE, FEDERAL, OHS AND PERMIT REQUIREMENTS/REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. GENERAL CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- ALL FILL MATERIAL BROUGHT ON TO THE JOB BY THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE D.E.P. REGULATIONS REGARDING CLEAN FILL.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS EXIT DOORS, EXIT RAMPS AND PORCHES. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PENNTERRA ENGINEERING, THE CURRENT REGULATIONS OF STATE COLLEGE BOROUGH, AND ALL OTHER PERTINENT FEDERAL, STATE & LOCAL LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- DEMOLITION PLAN SHOWS THE SCOPE OF SITE DEMOLITION FOR THE PROJECT. THE EXISTING OFFICE BUILDINGS SHALL REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION AND CONSTRUCTION WITH THE OWNER & PROVIDE MEASURES AS REQUIRED FOR THE EXISTING BUILDINGS TO REMAIN ACCESSIBLE & OPERATIONAL. SHUT-DOWN OF EXISTING UTILITY SERVICES SHALL BE COORDINATED WITH THE UTILITY SUPPLIERS (WEST PENN POWER, COLUMBIA GAS, VERIZON, COMCAST, STATE COLLEGE BOROUGH WATER AUTHORITY, AND UNIVERSITY AREA JOINT AUTHORITY) AND THE OWNER.
- THE REMOVAL WITHIN EASTERLY PARKWAY RIGHT-OF-WAY, OF THE SIDEWALK MUST BE FULL BLOCKS AND 10LF FOR THE CURB/GUTTER. NO PARTIAL REMOVAL WILL BE ALLOWED.
- REMOVAL OF EXISTING PAVEMENT FOR NEW CURB INSTALLATION IS NOT SHOWN ON THIS PLAN. REFER TO 6" CONCRETE CURB DETAIL ON SHEET 10.

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Concrete Areas
- Existing Pavement Areas
- Existing Wall
- Existing Tree Line
- Existing Sanitary Sewer w/ Manhole
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
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- Existing Shrub
- Existing Evergreen Tree
- Existing 25% Slopes Or Greater

SURVEY FEATURES LEGEND

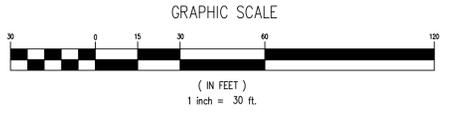
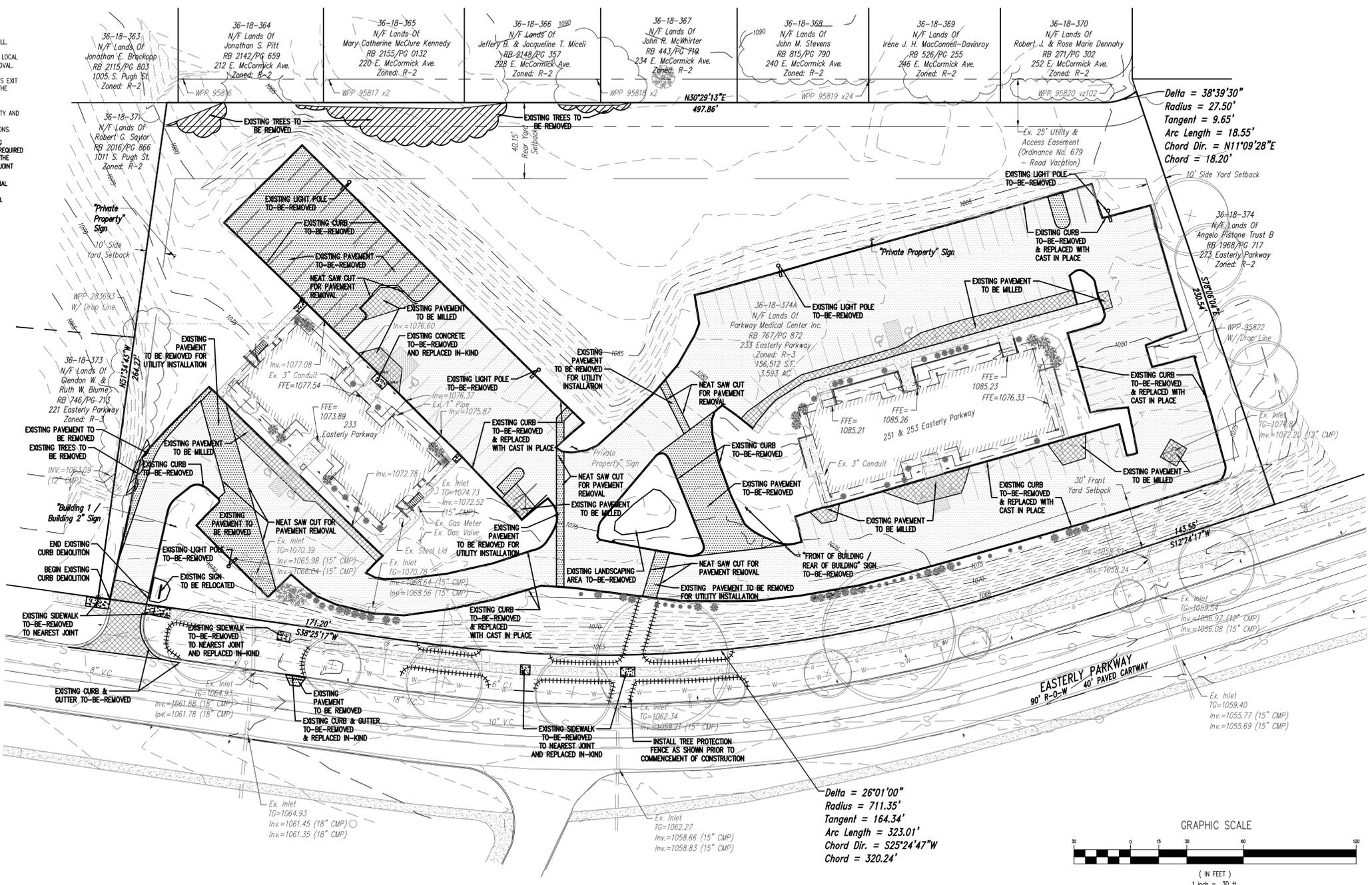
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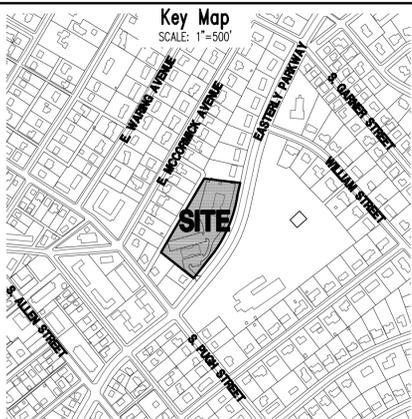
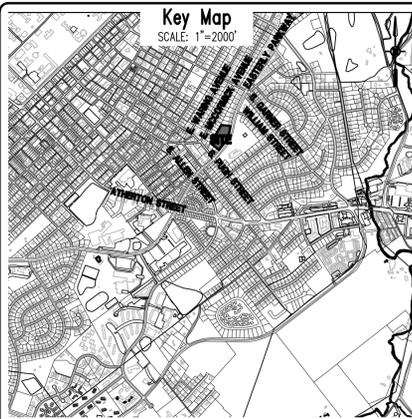
SOILS LEGEND

- Soil cover on the site consists of:
- No-Nolin silt loam, 3%-8% Slopes
- OhB - Opeaquon-Hagerstown complex, 3%-8% Slopes
- OhC - Opeaquon-Hagerstown complex, 8%-15% Slopes

DEMOLITION LEGEND

- EXISTING PAVEMENT TO BE REMOVED
- EXISTING PAVEMENT TO BE MILLED
- EXISTING CONCRETE WALK TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING TREE MASSES TO BE REMOVED
- EXISTING LIGHT POLE TO BE REMOVED
- TREE PROTECTION FENCE





Project Notes:

- General Site Information:**
 - Owner of Record: Parkway Medical Center, A General Partnership
233 Easterly Parkway
State College, PA 16801
Record Book 767, Page 872
Plat Book 767, Page 872
 - Deed Information: 36-18-374A
 - Tax Parcel No.: 233 Easterly Parkway
State College, PA 16801
Residence District (R-3)
 - Site Location: Front Yard: 30'
Side Yard: 20'
Rear Yard: 200.74' x 2 = 401.5'
(20% of the depth of the lot from the front building line to closest point of the rear line.)
Side yard setback may be reduced to 5' with Inclusionary Housing.
3,593 acf (156,512 sq. ft.)
 - Zoning District: Medical Offices / Professional Office
 - Setback Requirements:
- Act 287 Utility Information (Verification No. 20151070305):**
 - Water: State College Borough Water Authority
1201 West Branch Road, State College, PA 16801; (814) 238-6766
State College Borough Sewer Authority
243 South Allen Street, State College, PA 16801; (814) 234-7135
 - Sewer: Verizon Facilities Management Center
224 South Allen Street, State College, PA 16801; (814) 231-6511
 - Telephone: West Penn Power Company
2800 East College Avenue, State College, PA 16801; (814) 237-5821
 - Electric: 441 Science Park Road, State College, PA 16801; (866) 445-5880
Columbia Gas
2550 Corleau Drive, State College, PA 16801; (814) 238-6775
 - Cable Television:
 - Gas:
- Natural Features:**
 - Soil limits and descriptions have been taken from the Natural Resources Conservation Service Web Soil Survey dated February 2012 as shown on the Existing Conditions Plan.
 - No portion of this property lies within a flood plain according to Federal Emergency Management Agency (FEMA) Map Panels 420270C836F for State College Borough last revised May 4, 2009. There are no wetlands on the property according to the National Wetland Inventory map for State College, PA.
 - There do not appear to be any closed depressions on the property from visual inspection of the existing contours.
 - Contours shown in 1' intervals from survey data collected in the field by PennTerra Engineering, Inc. and are based off USGS Datum NAD83.

- State College Borough Residential District (R3) - Multi-Family Dwelling Use:**
 - Minimum Building Separation: Allowed: 10'
Proposed: 20' Minimum
Required: 2,000 S.F. / Dwelling Unit
of Units = 12
2,000 S.F. x 12 Units = 24,000 S.F. (0.550 Acres)
Proposed: 156,512 S.F. (3,593 Acres)
Required: 25 S.F. / Dwelling Unit (DU)
of Units = 12
25 S.F. x 12 Units = 300 S.F.
Proposed: 450 S.F.
Required: 50%
 - Lot Area Requirements: Required Open Space = 156,512 S.F. x .50 = 78,256 S.F.
Proposed Open Space = 80,835 S.F. (51.7%)
Max 25% of the 50% Open Space (hard-scape): 19,564 S.F.
Proposed Hard-Scape = 6,871 S.F. (8.49%)
Allowed: 35' from building pad elevation as existing and Not Exceeding 2 Stories.
Proposed: Maximum 35' two stories
 - Playground Area: Required:
- Existing Buildings = 18,886 sq. ft. / 250 = 75.5 stalls = 76 stalls
- Proposed Units = 12 units at 2 stalls per unit = 24 stalls
- Total Required = 100 stalls required
- Provided = 127 stalls (Includes 10 Handicap Stalls)
 - Open Space / Hard-Scape:
 - Building Height: Required:
- Existing Buildings = 18,886 sq. ft. / 250 = 75.5 stalls = 76 stalls
- Proposed Units = 12 units at 2 stalls per unit = 24 stalls
- Total Required = 100 stalls required
- Provided = 127 stalls (Includes 10 Handicap Stalls)
 - Parking Calculations:
 - Plan of record for lands of Ellen Dill recorded in Plat Book 10, pages 7 - 9.
 - Final Plan, Replot of Highlands Subdivision Lots 30 - 39 recorded in Plat Book 21, page 37.
 - An Erosion and Sediment Control Plan has been submitted to the Centre County Conservation District.
- Additional Information & Planning, Please Refer To:**
 - Plan of record for lands of Ellen Dill recorded in Plat Book 10, pages 7 - 9.
 - Final Plan, Replot of Highlands Subdivision Lots 30 - 39 recorded in Plat Book 21, page 37.
 - An Erosion and Sediment Control Plan has been submitted to the Centre County Conservation District.
- Water supply to the site will be provided by the State College Borough Water Authority. Water Lines on site beyond the water meter will be owned and maintained by the Developer.**
- All sanitary sewer laterals on site will be private, owned and maintained by the Developer. The sanitary sewer will connect to the Borough of State College's conveyance system and will be conveyed through the Borough's system. The construction of the sanitary sewer lateral(s) from a point 5' outside of any building must be in accordance with the Borough's sanitary sewer lateral specifications. The Borough must also inspect the construction of all laterals.**
- Fire suppression sprinkler systems will be provided in all proposed buildings.**
- In accordance with Borough ordinances, refuse & recycling services will be provided by the Borough of State College.**
- Occupancy of dwelling units will contain up to 3 unrelated occupants per dwelling.**
- The Project Benchmark is a chiseled square at the end of the sidewalk, west side of building as shown on plan. Elevation 1077.26**
- Anticipated Landscape Planting Schedule: Spring 2017**
- Inclusionary Housing: Based upon 12 proposed dwelling units, 1 Inclusionary Housing Unit will be required for the development for this development. A fee-in-lieu payment has been made for this unit.**
- Existing Utility Easements on the property as shown in P.B. 10, Pages 7-9, are no longer applicable & to be extinguished by this plan.**
- Each unit will contain 3 bedrooms.**
- A Traffic Impact Study is not required for this development based upon the following:**

Proposed Increase	Require increase for TIS
102 ADTs / 11 Peak Hour Trips	750 ADTs / 50 Peak Hour Trips
- Unroofed platforms, including balconies and decks, on 1-and 2-family dwellings are permitted to extend into rear yards up to a maximum of 2 inches per foot of required rear yard setback. Based upon a 40' Rear Setback, this equals 6'-8". Support posts and beams shall be considered a part of any platform and may be affixed to the ground below and extend into a rear yard up to the limit set forth for platforms.**

Stormwater Facilities Maintenance Program

All stormwater management facilities on the site of Easterly Parkway Villas not contained in a State College Borough Right-of-Way shall be owned and maintained by the owner, their executors, heirs, agents and assigns. State College Borough, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

State College Borough and/or the Centre County Conservation District may require the Owner to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed Stormwater management and permanent erosion and sediment pollution control facilities at this project site. The Owner shall immediately notify State College Borough and Centre County Conservation District prior to initiating any major repair activities.

The Owner hereby acknowledges State College Borough's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owner acknowledges State College Borough's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by State College Borough shall be at the expense of the Owner.

The facilities that will require maintenance are the inlets, storm sewer pipes, rip-rap apron, detention/infiltration basin and swale. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- The proposed storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
- The rip-rap apron at the pipe outlet needs to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
- The detention/infiltration basin shall be cleaned of debris, vegetation on the outside and embankment maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. Vehicular traffic in the basin should be limited to an absolute minimum to prevent compaction of the basin bottom. No vehicular traffic should operate within the basin bottom when the soils are saturated. The vegetation within the basin bottom should be periodically mowed once or twice a year to a height of 6-8".
- The swale shall be cleaned of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture.
- If the infiltration basin does not infiltrate all captured volume within 72 hours after a storm event, State College Borough Engineer has the right to require these facilities be restored/repared to proper functioning as originally designed and approved. The Project's Civil and Geotechnical Engineers shall be consulted immediately to evaluate the conditions.

Owners Certification of Tax Parcels
 36-18-374A

Commonwealth of Pennsylvania
 County of Centre

On this the _____ day of _____, 20____, I, _____, personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____, 20____.

Notary Public _____ Commission Expires _____

Stormwater Facilities Acknowledgement

I, the landowner, acknowledge the Stormwater Management System is to be maintained in accordance with the approved Ownership and Maintenance Program and shall remain a permanent fixture which can be altered only after approval of a revised plan by the Borough of State College.

Owners Landscaping Acknowledgement

I, the owner, agree to install and maintain all landscaped areas shown on this plan. All landscaping shall be installed by _____, 20____.

Signature _____ Date _____

Borough Arborist Approval

Signature _____ Date _____

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature _____ Date _____

Municipal Approval

State College Borough Zoning Officer approved.

Design Engineer's Certification

I, _____, hereby certify that this Land Development Plan meets all design requirements of the Subdivision/Land Development Ordinance and the Zoning Ordinance of the Borough of State College.

Storm Water Certification

I, _____, do hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Borough of State College Stormwater Management Ordinance.

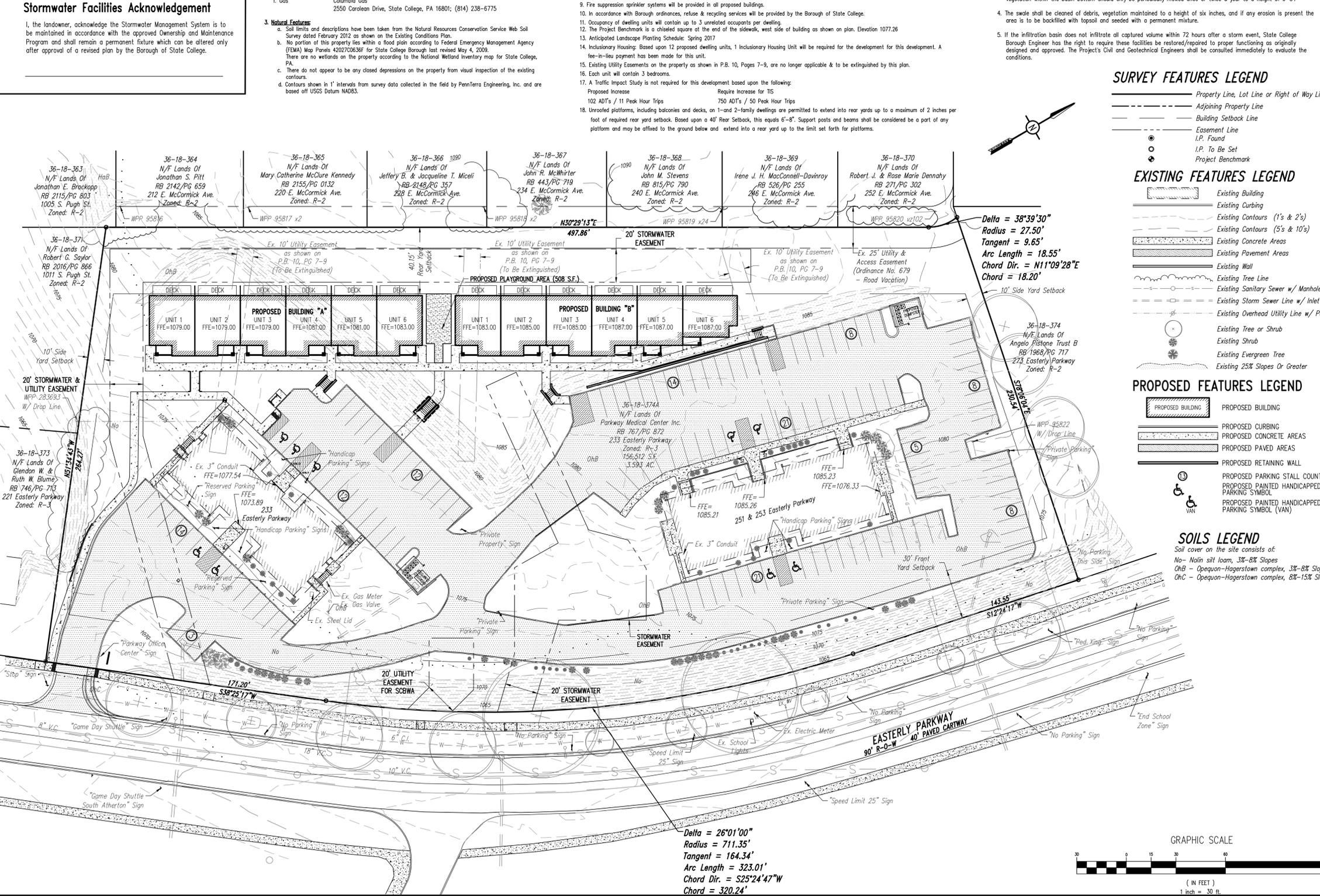
Municipal Storm Water Signature Block

I, _____, 20____, have reviewed this Stormwater Management Plan in accordance with the design standards and criteria of the Borough of State College Stormwater Management Ordinance.

Recorder of Deeds

Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plat Book _____, Page _____ on this the _____ day of _____, 20____.

Recorder of Deeds _____



PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 FX: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 FX: 717-522-5046

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REG. PENNTERRA ENGINEERING 2016
ALL RIGHTS RESERVED

Seal of JOHN C. SEPP, Registered Professional Engineer, No. 04003-E, State of Pennsylvania.

Seal of NEVIN L. GROVE, Registered Professional Land Surveyor, No. S060171, State of Pennsylvania.

Designer: MLH
 Draftsman: MLH
 Proj/Manager: MAT
 Surveyor: _____
 Perimeter Clk: _____
 Book: Pg _____
 Acad: 15015-04-RP
 Layout: RECORD PLAN

Date: _____ Description: REMONOS

EASTERLY PARKWAY VILLAS

STATE COLLEGE BOROUGH
 CENTRE COUNTY
 PENNSYLVANIA

FINAL LAND DEVELOPMENT PLAN

RECORD PLAN

PROJECT NO.
15015

DATE
FEBRUARY 16, 2016

SCALE SHEET NO.
1"=30' **4** of 15

BOROUGH OF STATE COLLEGE LANDSCAPING NOTES:

- ALL TREES AND SHRUBS ARE TO BE PLANTED ACCORDING TO THE STANDARDS OF THE AMERICAN NURSERYMANS ASSOCIATION.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE CONSENT OF THE OWNER AND STATE COLLEGE BOROUGH.
- THE MULCH SHOULD BE A DOUBLE-GROUND HARDWOOD BARK MULCH, WELL-AGED AND DARK IN COLOR. THE MULCH SHOULD BE APPLIED 3-4" DEEP AT PLANTING TIME, AND MAINTAINED AT THAT THICKNESS AS CONSISTENTLY AS POSSIBLE.
- AT THE TIME OF PLANTING, PEATMOSS AND BONE MEAL ARE TO BE ADDED TO THE NATURAL BACKFILL SOIL. IF THE NATURAL SOIL IS A HEAVY CLAY, REPLACE IT WITH A GOOD QUALITY TOPSOIL.
- ALL DISTURBED AREAS SHALL BE SEEDED WITH A HARDY PERENNIAL GRASS SEED MIXTURE AFTER FINE GRADING IS COMPLETED. SEEDING SHOULD BE DONE BETWEEN MAY 1 AND OCTOBER 31.
- ALL PLANTINGS SHOULD BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER. THE LAWN SHALL BE WATERED AS REQUIRED UNTIL FULLY ESTABLISHED AND READY FOR THE FIRST MOWING.
- THE LANDSCAPED CONTRACTOR MUST PROVIDE A ONE-YEAR GUARANTEE ON ALL PLANT MATERIAL TO INCLUDE THE REPLACEMENT OF THE PLANTS AND INSTALLATION OF THOSE PLANTS WHICH DO NOT SURVIVE THE YEAR FOLLOWING ACCEPTANCE OF LANDSCAPING BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP ALL NEW PLANTINGS WATERED OVER THE COURSE OF THE PROJECT UNTIL FINAL ACCEPTANCE. THE OWNER SHALL PROVIDE A WATERING SOURCE ON SITE FOR THIS PURPOSE. THE LAWN AREAS SHALL BE WATERED BY THE CONTRACTOR UPON INSTALLATION UNTIL A UNIFORM LAWN SURFACE IS PROVIDED.
- THE CALIPER FOR ALL TREES SHALL BE MEASURED AT 4.5" IN HEIGHT.

PLANTING SCHEDULE						
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NATIVE
CANOPY TREES						
	T-1	4	LIQUIDAMBER STYRACIFLUA	SWEET GUM	2" - 2 1/2" B & B	NATIVE
	T-2	8	ACER RUBRUM	RED MAPLE	2" - 2 1/2" B & B	NATIVE
	T-3	7	CERCIDIPHYLLUM JAPONICUM	JAPANESE KATSURA	2" - 2 1/2" B & B	
SMALL DECIDUOUS TREES						
	T-4	8	ACER GRISEUM	PAPERBACK MAPLE	1 1/2" CAL. B & B	
UNDERSTORY / EVERGREEN TREES						
	E-1	22	ABIES CONCOLOR	CONCOLOR FIR	5' - 6' HT. B & B	NATIVE
	E-2	5	PINUS STROBUS	EASTERN WHITE PINE	5' - 6' HT. B & B	NATIVE
	E-3	16	PICEA ABIES	NORWAY SPRUCE	5' - 6' HT. B & B	
SHRUBS						
	S-1	24	ILEX CRENATA GREEN LUSTRE	GREEN LUSTRE JAPANESE HOLLY	18" - 24" HT. Cont.	
	S-2	30	CLETHRA ALNIFOLIA	SUMMERSWEET	18" - 24" HT. Cont.	NATIVE
	S-3	14	SALIX X COTTETI	DWARF BANKERS WILLOW	18" - 24" HT. Cont.	
	S-4	130	ACORUS AMERICANA	SWEET FLAG	(2) 57 S.F. 4" POTS, 12" O.C.	NATIVE
	S-5	135	JUNCUS EFFUSUS	SOFT RUSH	114 S.F. 4" POTS, 12" O.C.	NATIVE
	S-6	144	LIGULARIA DENTATE	ROCKET LIGULARIA	(3) 48 S.F. 4" POTS, 12" O.C.	
	S-7	66	LOBELIA CARDINALIS	CARDINAL FLOWER	(2) 33 S.F. 4" POTS, 12" O.C.	NATIVE

QUANTITY EQUAL TO 1.15 PLANTS PER S.F. (ROUNDED)

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- I.P. Found
- I.P. To Be Set
- Project Benchmark

SOILS LEGEND

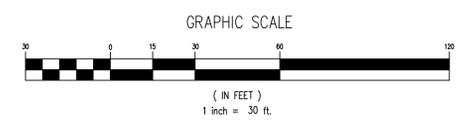
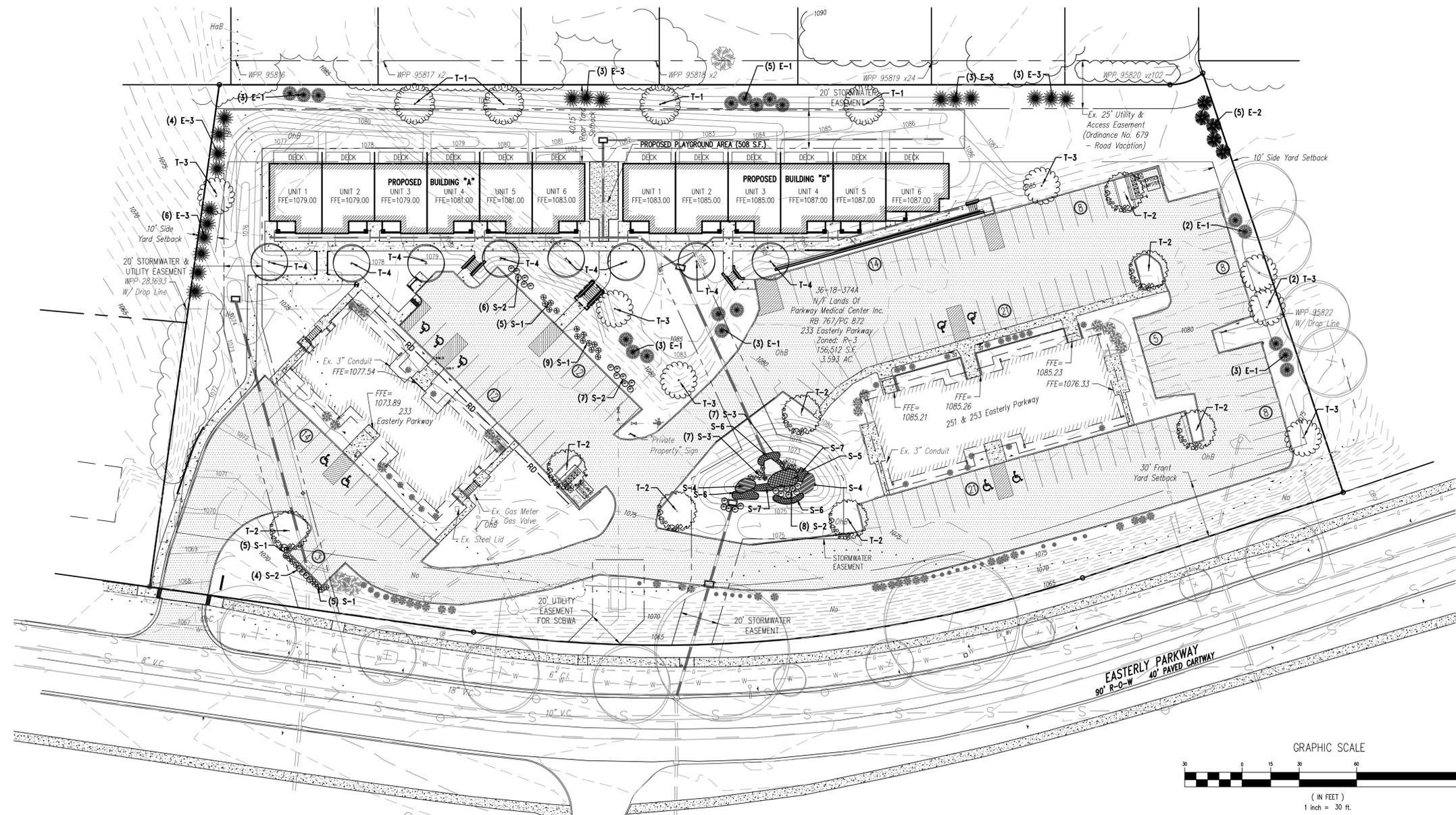
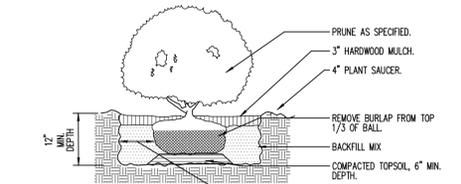
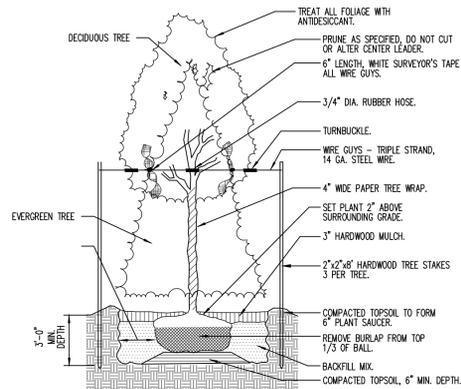
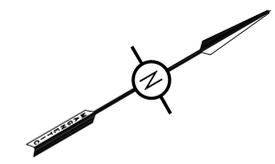
Soil cover on the site consists of:
 No - Nolin silt loam, 3%-8% Slopes
 OhB - Opequon-Hagerstown complex, 3%-8% Slopes
 OhC - Opequon-Hagerstown complex, 8%-15% Slopes

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Concrete Areas
- Existing Pavement Areas
- Existing Wall
- Existing Tree Line
- Existing Sanitary Sewer w/ Manhole
- Existing Storm Sewer Line w/ Inlet
- Existing Overhead Utility Line w/ Pole
- Existing Tree or Shrub
- Existing Shrub
- Existing Evergreen Tree

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED MAJOR CONTOURS W/ ELEVATION
- PROPOSED MINOR CONTOURS W/ ELEVATION
- PROPOSED CONCRETE AREAS
- PROPOSED PAVED AREAS
- PROPOSED RETAINING WALL
- PROPOSED STORM SEWER W/ INLET
- PROPOSED 6" SDR 35 PVC SANITARY LATERAL W/ CLEAN OUT
- PROPOSED 6"/4" C900 WATER LINE W/ VALVE
- PROPOSED 2" C900 WATER SERVICE LATERAL
- PROPOSED SIGN W/ REFERENCE DESIGNATION
- PROPOSED PARKING STALL COUNT
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOL (VAN)



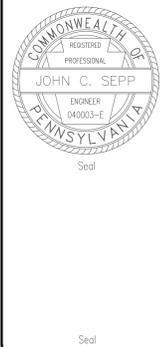
PennTerra ENGINEERING INC.
 CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

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Designer: MLH
 Draftsman: MLH
 Proj Manager: MAT
 Surveyor: _____
 Perimeter Clk: _____
 Book: _____ Pg: _____
 Acad: 15015-08-1P
 Layout: LANDSCAPE PLAN

Date	Description	REVISIONS

EASTERLY PARKWAY VILLAS

STATE COLLEGE BOROUGH
 CENTRE COUNTY
 PENNSYLVANIA

FINAL LAND DEVELOPMENT PLAN

LANDSCAPE PLAN

PROJECT NO.
15015

DATE
FEBRUARY 16, 2016

SCALE SHEET NO.
1"=30' 8 of 15



705 South Atherton Street aerial

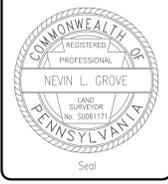
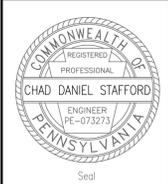


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Designer	
Draftsman	JWP
Proj. Manager	CDS
Surveyor	MAK
Perimeter Clk.	
Book	497 Pg 14
Drive P:	Layout EX COND
Acad	16011-MD-CSD14.DWG

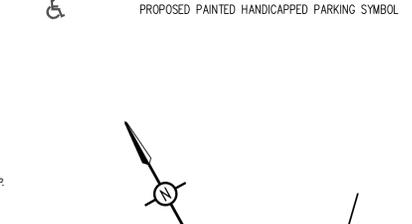
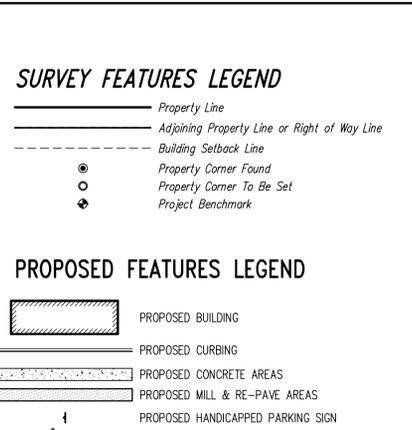
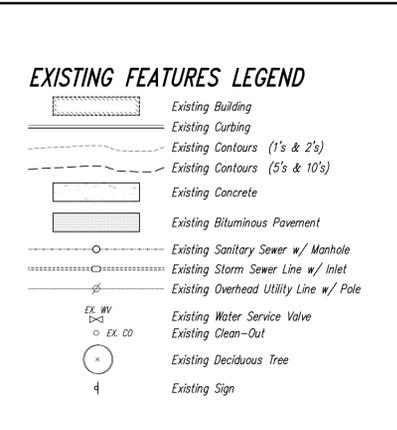
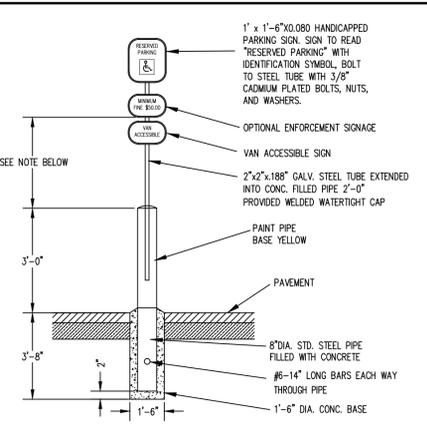
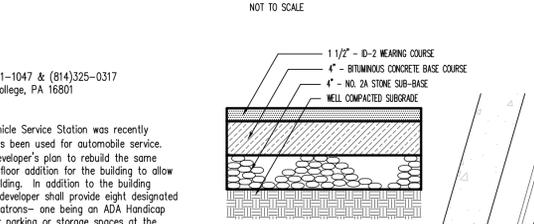
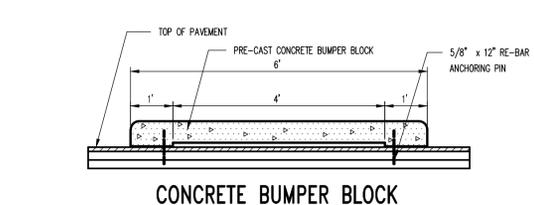
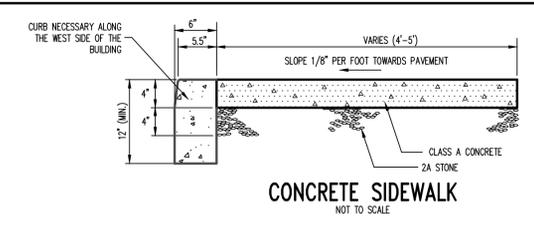
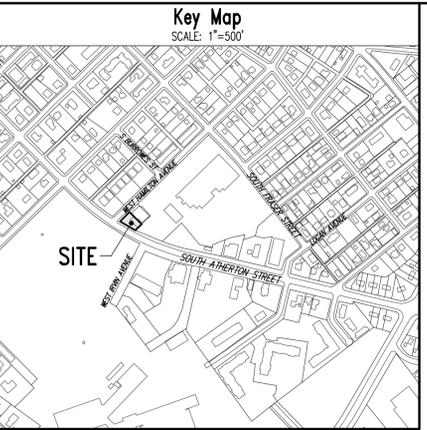
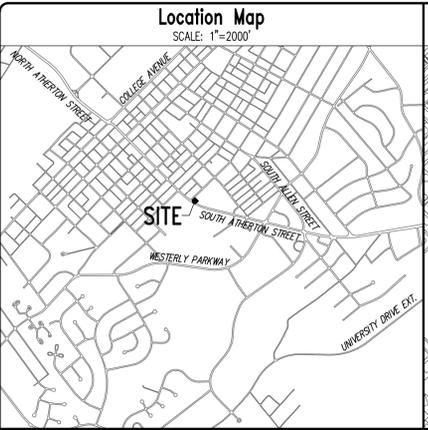
DATE	DESCRIPTION
03/09/16	REVISIONS

PENNS MOBIL
 STATE COLLEGE BOROUGH
 CENTRE COUNTY
 PENNSYLVANIA

MINOR LAND DEVELOPMENT

RECORD PLAN

PROJECT NO.	16011
DATE	FEBRUARY 5, 2016
SCALE	1"=10'
SHEET NO.	1



Commonwealth of Pennsylvania County of Centre
Owner's Certification
Tax Parcel 36-17-151A
 On this _____ day of _____, 20____
 the undersigned owners personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.
 _____ Owner
 _____ Owner
 witness my hand and seal, this date _____
 _____ Notary Public Commission Expires _____

Professional Land Surveyor Certification
 I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.
 _____ Signature _____ Date _____

Design Engineer's Certification
 I, _____ Hereby Certify that this Land Development Plan meets all design requirements of the Subdivision/Land Development Ordinance and the Zoning Ordinance of the Borough of State College.
 _____ Signature _____ Date _____

Municipal Approval
 Approved on this the _____ day of _____, 20____
 For the State College Borough Planning Department

Project Notes:

- General Site Information:
 - Developer: Bashar N. & Laila K. Khayat
 - Owner Address: 639 Royal Circle, State College, PA 16801 (814)441-1047 & (814)325-0317
 - Existing Site Address: Penns Mobil - 705 South Atherton Street, State College, PA 16801
 - Tax Parcel: 36-017-151A
 - Site/Lot Size: 0.167 acres/ 7,284 square feet
 - Development Site Description: Penns Mobil Service Station. The Penns Mobil Vehicle Service Station was recently destroyed by fire. The 1,693 square feet Garage Building has been used for automobile service.
 - PLAN PURPOSE: The purpose of this Site Development Plan is to identify the Developer's plan to rebuild the same footprint and use of the Vehicle Service Station and to ALSO provide a second floor addition for the building to allow previously not available storage of parts and materials to the benefit of the building. In addition to the building reconstruction in the same place and footprint of the burnt down building, the developer shall provide eight designated vehicle storage spaces at the property as well as two new parking spaces for patrons- one being an ADA Handicap space. Note that previously that there were NOT previously designated vehicular parking or storage spaces at the property.
 - Zoning: CP-3 'Planned Commercial District'
 - Non-Conforming Building: State College Borough Ordinances, Section 2105. Restoration Intent. It is the intention of this Section to require replacement or restoration of nonconforming buildings and structures that are substantially damaged to their pre-casualty size and footprint when replacement or restoration is necessitated by circumstances beyond the owner's control such as accidental fire. Any building nonconforming as to area, height, size, number of dwelling units, lot coverage, or yards that is damaged to any extent by accidental cause (such as the fire) may be replaced, rebuilt, or reconstructed to its prior nonconforming size, footprint, height, or dimensions provided that:
 - No portion of the rebuilt or new building extends further into any yard than did the prior building; THE FOOTPRINT OF THE BUILDING SHALL REMAIN THE SAME AS PREVIOUSLY EXISTED- 28'-8" DEEP BY 59'-11" WIDE.
 - No portion of the rebuilt or new building extends higher than did the prior building; A SECOND FLOOR WILL BE ADDED TO THE REBUILT AND RAISED BUILDING TO PROVIDE AUTOMOBILE SERVICE BUSINESS MATERIAL STORAGE. THE SECOND FLOOR ADDITION SHALL BE 1,614 SQUARE FEET IN AREA (AFTER SUBTRACTING THE ACCESS STAIRWELL). THIS LAND DEVELOPMENT/SITE PLAN PROVIDES ADDITIONAL PARKING SPACES TO CONFORM TO THE CODE. REFER TO THE PLAN & THE PLAN PURPOSE NOTE ABOVE.
 Whenever it is necessary to replace, rebuild, or reconstruct a nonconforming building damaged by accidental cause, which shall not include any intentional act of the owner or circumstances of neglect, the amount of parking required for the replacement building, providing the use is not changed, shall be the same amount that was provided on the site for the prior building and use. Any square footage of the new building that exceeds the size of the prior building shall meet current parking requirements as shall any change in use of the building. THE SECOND FLOOR ADDITION SHALL BE 1,614 SQUARE FEET IN AREA FOR PARTS and SIMILAR MATERIALS STORAGE SPACE.
 - All building and fire protection codes applicable at the time of reconstruction are met; DESIGN BY LICHTY ENGINEERING TO MEET THE CURRENT IBC (INTERNATIONAL BUILDING CODE).
 - Construction of the replacement, rebuilt, or reconstructed building commences within 3 years following the casualty and is substantially completed within 5 years of the casualty; THE FIRE OCCURRED FEBRUARY 3, 2015.
 - Building floor area and footprint shall not exceed that of the prior building; NOTE THAT THE FIRST FLOOR DOES NOT EXCEED THE PREVIOUS AREA, 1,693 square feet.
 - All other regulations applicable in the zoning district are met.
- Lot Area:
 - Required: 14,000 square feet
 - Provided: 7,405 square feet; Non-Conforming- can be developed in accordance with Section 502.F.
- Lot Width:
 - Required: 100 feet
 - Provided: 102 feet, MINIMUM PROVIDED.
- Setbacks:
 - Front Yard Depth: Minimum of 20 feet & maximum of 45 feet (with parking in the front yard; existing)
 - Side Yard Depth: All yards abutting a street shall comply with the front yard depth of the zoning district. Not Required & Not applicable- double frontage at the intersection of/corner of South Atherton Street and West Hamilton Avenue.
 - Rear Yard Depth: 20 feet (abutting a Non-Residential District)
- Impervious Coverage:
 - Existing: 7,395 SF (99.86%)
 - Proposed: 7,263 SF (98.08%)
 - Increase Pre to Post: 0 SF
 - Decrease of 132 square feet- adding a landscaping berm along the east property line.
- Building Height:
 - Maximum Height = 35 feet or three stories.
 - Existing Height (Pre-Fire) = 15'-6"
 - Proposed Building Height with Raised First Floor Ceiling and Added Second Floor = 25'-8"
- Parking Requirements:
 - Required Parking:
 - Initial Building Pre-Fire No designated spaces existed.
 - 1 space per 250 square feet of gross floor area x 1,614 square feet = 6.5 parking spaces required.
 - Ten parking spaces provided.

2. ACT 287 UTILITY INFORMATION: Serial # 20160201168
 All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. (CONTRACTOR SHALL NOTIFY PA ONE CALL PRIOR TO ANY EXCAVATION)
 a. Electric - West Penn Power Company, 2800 E. College Ave., State College, PA 16801 - Phone: 814-231-5336
 b. Telephone - Verizon, Facility Management Center, 224 S. Allen Street, State College, PA 16801 - Phone: 814-231-6511
 c. TV Cable - Comcast, 60 Decble Road, State College, PA 16801 - Phone: 814-992-3515
 d. Gas - Columbia Gas of Pennsylvania, 2550 Carolean Industrial Drive, State College, PA 16801 - Phone: 814-238-5840
 e. Sanitary Sewer - University Area Joint Authority (Treatment), 1576 Spring Valley Road, State College, PA 16801 - Phone: 814-238-3361
 State College Borough Sewer Authority (Conveyance), 243 South Allen Street, State College, PA 16801 - Phone: 814-234-4140
 f. Water - State College Borough Water Authority - 1201 West Branch Road, State College, PA 16801 - Phone: 814-238-6766

3. Fire Department Information: The proposed building to be constructed at 705 South Atherton Street will include an automatic sprinkler system throughout and will be equipped with an integral Siamese Fire Department Connection as coordinated between the Developer, Architect and the Centre Region Council of Governments Regional Fire Protection Program Fire Director.

4. No vegetation exists on the site currently. A 3' wide vegetative strip (grass or mulch) will be installed the entire length of the east property line.

5. This plan proposes NO increase in impervious coverage; actually a reduction. Refer to notes 1.m.d. and 4.; above.

6. Elevation & Survey Datum and Project Benchmark- Contours of this plan were generated from field survey by PennTerra Engineering, Inc., and are based upon USGS Datum. PennTerra Engineering has established a Project Benchmark for the property to be the center of the stormwater inlet along the face of curb at the east side of the intersection of South Atherton Street and West Hamilton Avenue. Elevation = 1121.02.

7. Existing Soils- Soil Limits and descriptions have been taken from the Soil Survey of Centre County, Pennsylvania; issued August 1981.

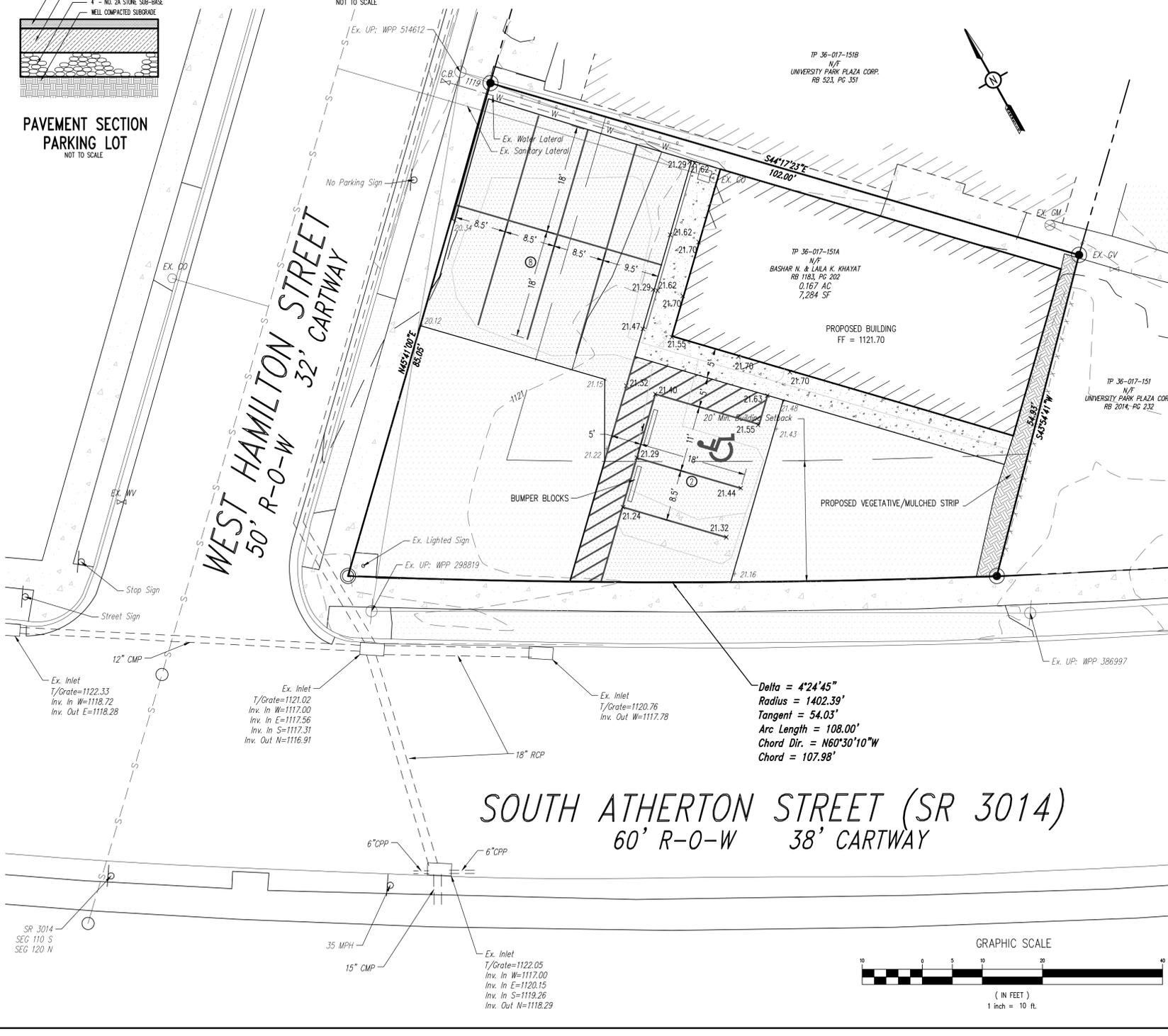
8. Floodways or Areas Prone to Flooding: According to the Federal Emergency Management Agency (FEMA) flood insurance rate mapping the floodplain as it relates to the property is identified by designation 'ZONE X' as taken from the FIRM mapping for Centre County, Map Number 42027C-0365-F. 'ZONE X' areas are defined as areas having been determined to be outside the 0.2% annual chance floodplain.

9. PHMC & Archaeological- A Pennsylvania Historical and Museum Commission Request to Initiate Consultation in Compliance with the State History Code and Section 106 of the National Historic Preservation Act (Environmental Resources) Request has been made. No relevant historical or archaeological data has been identified with this request.

10. PND- PennTerra Engineering has performed a PND (Pennsylvania Natural Diversity Inventory) Project Environmental Review for the subject property.

11. Refer to the building & other site plans "Penns Mobil Restoration Plans", dated 10/26/2015 prepared by Lichty Engineering for detail of buildings & utilities, etc. - note that all existing utilities to be reused.

Recorder of Deeds
 Recorded in the Office of the Recorder of Deeds at Centre County, Pennsylvania, in Plat Book _____, Page _____ on this the _____ day of _____, 20____
 _____ Recorder of Deeds





N/F Kehler, Inc.
 DB 0264, P 0246
 DB 0268, P 0381

BUILDING DISTANCE TO PROPERTY LINES (FT)

CORNER	NW PL	NE PL	SE PL	SW PL
SE	-	2.83	2.47	-
SW	-	-	3.39	23.36
NW	40.71	-	-	40.27
NE	36.44	2.80	-	-

Owner: Bashar N. and Laila Khayat
 639 Royal Circle
 State College, PA 16801
 (814)441-1047

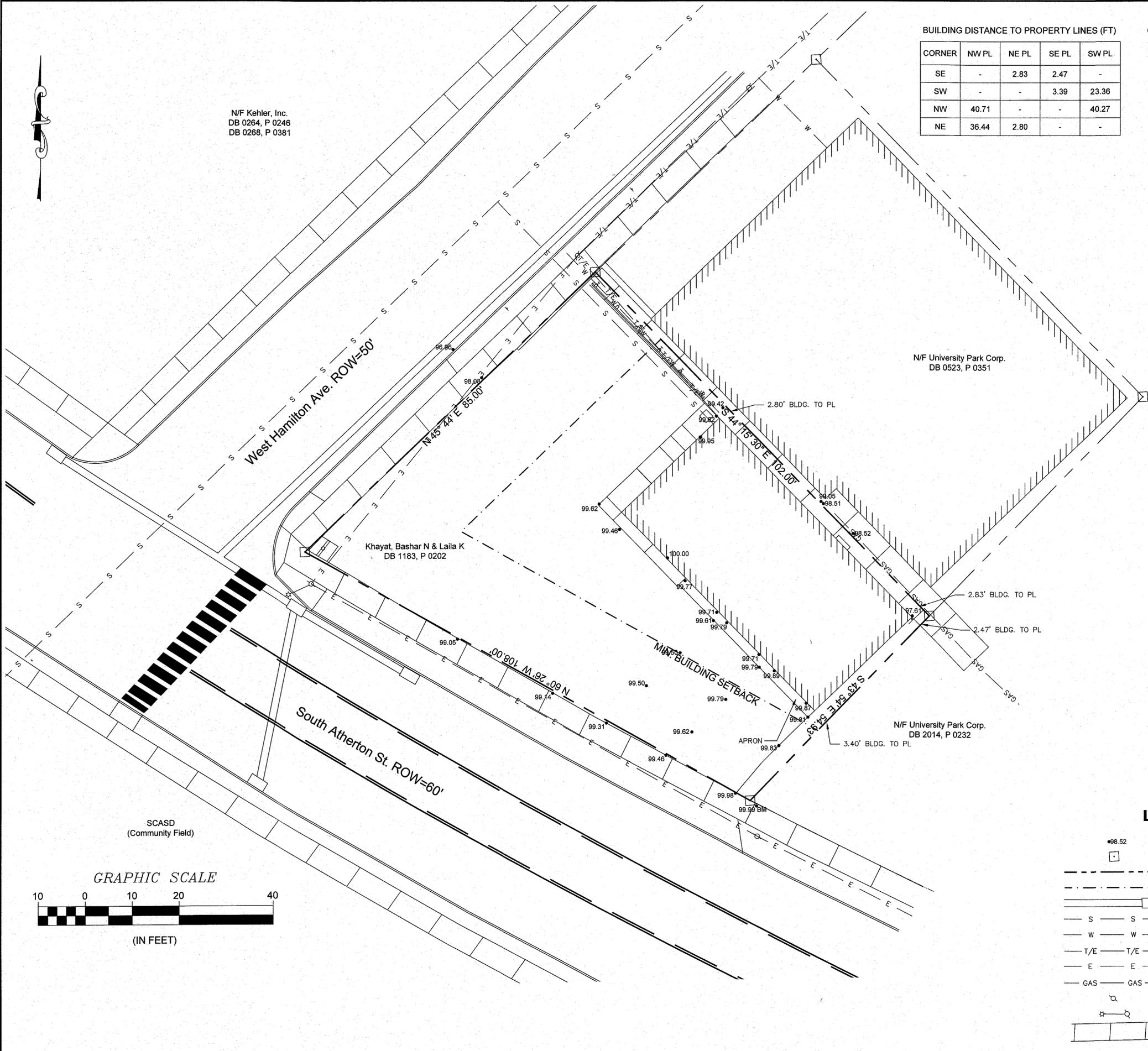
CentreCounty Tax I.D. No.: 36-017-151A
 Centre County Deed Doc. #: BK 1183, PG 0202
 Property Size: 0.17-AC
 Zoning District: CP3

LICHTY ENGINEERING
 687 Berkshire Drive
 State College, PA 16803
 (814)281-1141
 Licthy.Engineering@comcast.net

DRAWN BY: JEL
 08/05/2015
SHEET 2
OF 24

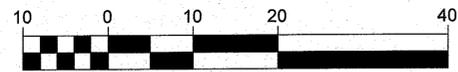
REVISIONS
 10/26/2015
 SOURCE: Shuman, PLS
 Survey 04/03/15

SCALE: 1" = 10'



SCASD
 (Community Field)

GRAPHIC SCALE

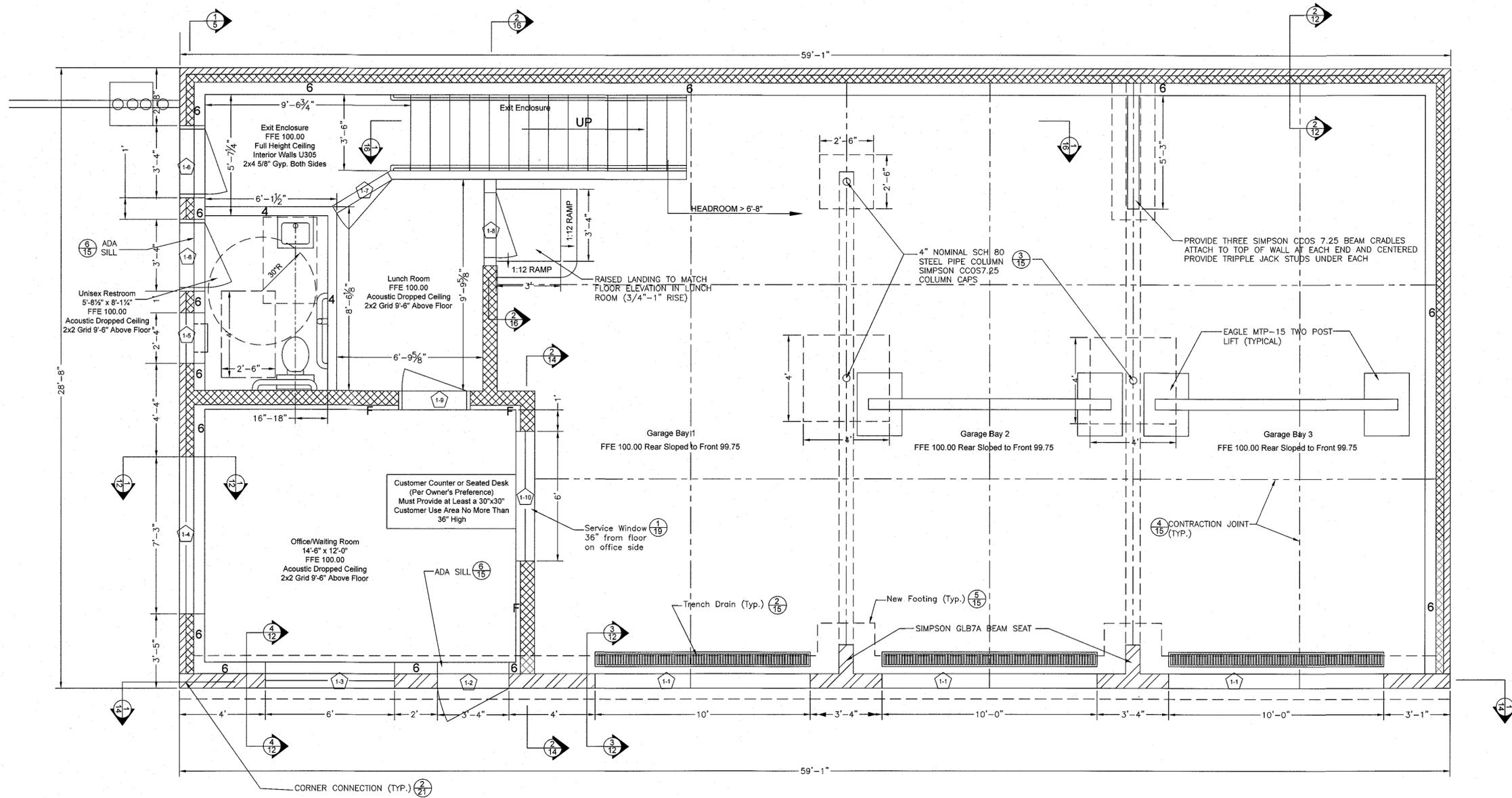


(IN FEET)

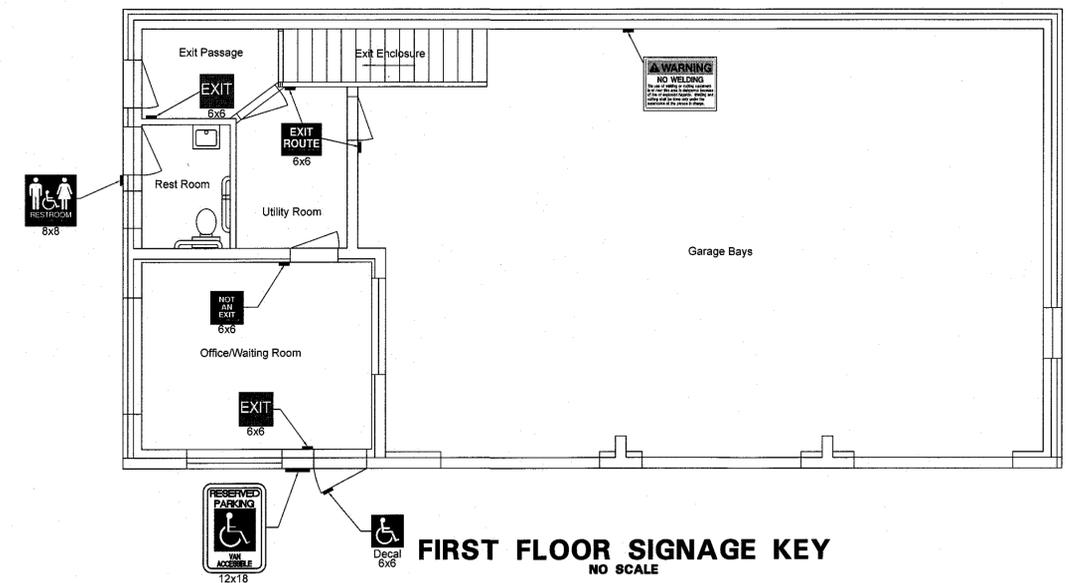
LEGEND

- EXISTING SPOT EL. (TIED TO BENCHMARK)
- PROPERTY CORNER
- PROPERTY BOUNDARY
- BUILDING SETBACK
- BOROUGH STORMWATER PIPES AND BASINS
- BOROUGH SEWER AND LATERAL
- BOROUGH WATER AND SERVICE CONNECTION
- TELEPHONE AND ELECTRIC
- ELECTRIC
- GAS
- UTILITY POLE
- STREETLIGHT
- SIDEWALK

Penns Mobil Renovation Plan
705 South Atherton Street, State College, PA
EXISTING SITE PLAN



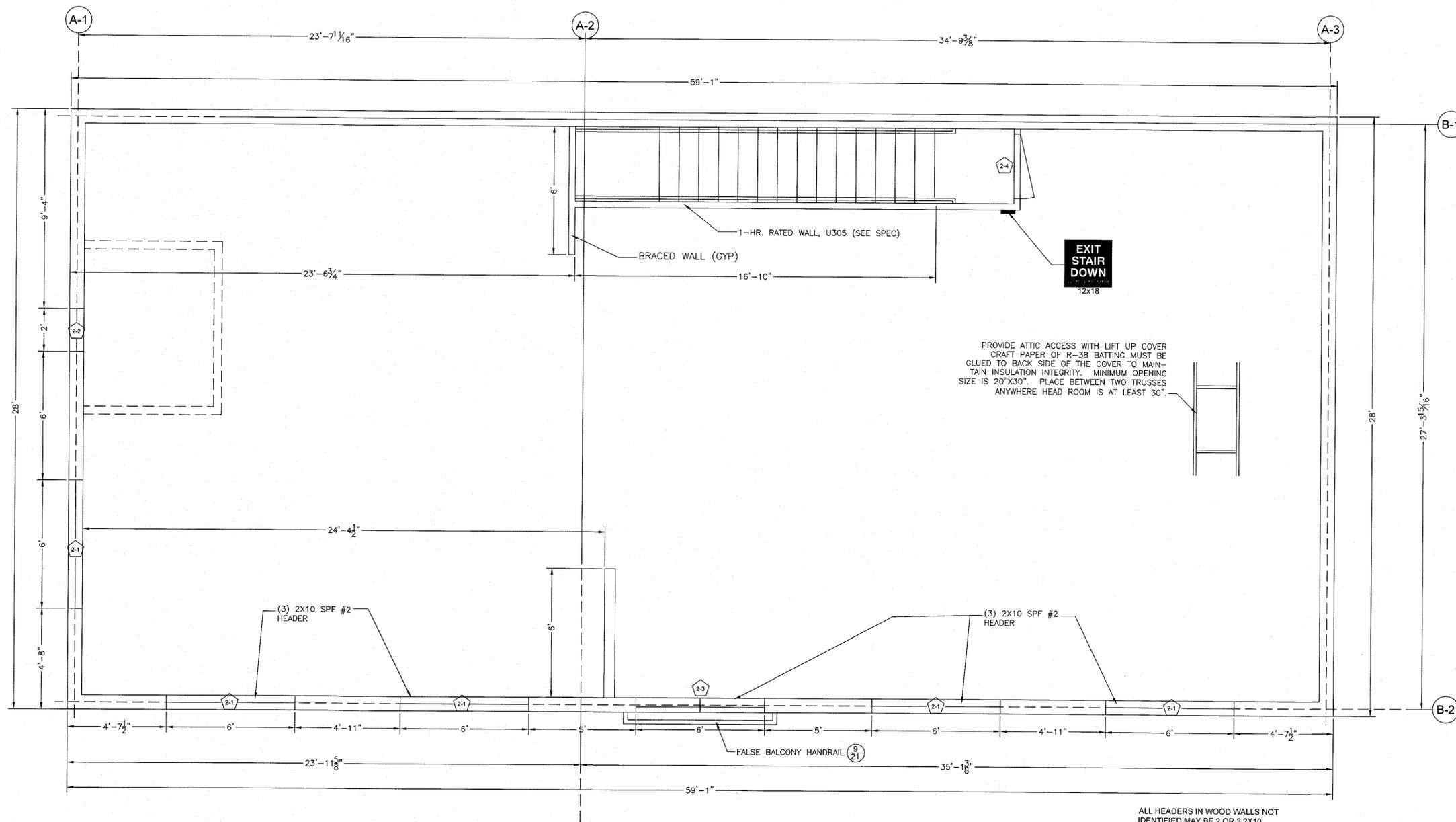
- SIGN REQUIREMENTS:**
- ALL ACCESSIBILITY SIGNS SHALL BE MOUNTED AT THE LOCATIONS SHOWN AND AT THE SIZE INDICATED IN ON THE KEY PLAN.
 - THE SIGNS SHALL BE EITHER LIGHT BACKGROUND WITH DARK LETTERS OR DARK BACKGROUND WITH LIGHT LETTERS.
 - THE SIGNS SHALL BE MOUNTED WITH THE TOP ROW OF TWXT BETWEEN 48" AND 60" FROM THE FLOOR.
 - THE SIGNS SHALL BE MOUNTED ON THE WALL NEXT TO THE LATCH SIDE OF THE DOOR, UNLESS THERE IS NOT 18" OF CLEAR SPACE AVAILABLE. IN THIS CASE THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL WITH AVAILABLE SPACE.
 - ALL SIGNS AND MOUNTING AREA MUST COMPLY WITH IBC 2012 SECTION 1110 AND ICC A117.1-2009 SECTION 703.



WINDOW AND DOOR SCHEDULE							
NO.	DOOR	WINDOW	RO SIZE	MIN. U	MIN. SHGC	SPECIFICATIONS	QTY.
1-1	X		10'X11'-6"	0.80	0.40	R 7.2 INSULATED PANEL GARAGE DOOR BY OVERHEAD DOOR, INC. WITH TWO PANELS WITH WINDOWS, PROVIDE ELECTRIC LIFT OPERATOR AND SPRING ASSIST. OVERHEAD DOOR MODEL 418 DOOR AND RMX OPERATOR OR SIMILAR. MUST BE ENERGY STAR CERTIFIED	3
1-2	X		3'-4"X7'-11"	0.80	0.40	36"X80" NOMINAL GLASS ENTRANCE DOOR WITH GLASS TRANSOM ABOVE, DOOR U-RATING 0.80, ALL GLASS TEMPERED, LEFT HAND RETURN W/ SINGLE ACTION LOCK HARDWARE (UNLOCKED WHEN OPEN FOR BUSINESS), PULL BAR HANDLE ON OUTSIDE AND PUSH BAR INSIDE TRANSOM WINDOW FIXED DBL. PANE, RO=3'-4"X1'-8", MUST BE ENERGY STAR CERTIFIED.	1
1-3		X	6'X7'	0.35	0.40	DOUBLE PANED TEMPERED GLASS PICTURE WINDOW, JELDWIN BLVFW57284 OR EQ. MUST BE ENERGY STAR CERTIFIED	1
1-4		X	7'-4"X7'-4"	0.35	0.40	REPLACE EXISTING WINDOW WITH DOUBLE OR TRIPLE PANE, TEMPERED GLASS PICTURE WINDOW, ANDERSEN CERTIFIED OR EQ. MUST BE ENERGY STAR CERTIFIED.	1
1-5		X	2'-3"X3'-6"	-	-	KEEP EXISTING BATHROOM WINDOW	1
1-6	X		3'-2"X6'-10"	0.80	N.A.	36"X80" NOMINAL WIDE INSULATED STEEL DOOR, LEVER HARDWARE, KEY LOCK ON OUTSIDE DOOR OPENS FROM INSIDE EVEN WHEN LOCKED, LEFT HANDED, MUST BE ENERGY STAR CERTIFIED.	2
1-7	X		3'-2"X6'-10"	N.A.	N.A.	36"X80" STEEL 1-HR RATED FIRE DOOR, LEVER HARDWARE, NO LOCK, AUTO CLOSE HARDWARE INCLUDED, PROVIDE SEAL AROUND ALL EDGES. CALK FRAME WITH FIRE STOP CALK, LEFT HANDED.	1
1-8	X		3'-2"X6'-10"	N.A.	N.A.	36"X80" INSULATED STEEL DOOR, LEVER HARDWARE, NO LOCK, AUTO CLOSE HARDWARE INCLUDED, LEFT HANDED.	1
1-9	X		3'-2"X6'-10"	N.A.	N.A.	36"X80" INSULATED STEEL DOOR, LEVER HARDWARE, NO LOCK, RIGHT HANDED.	1
1-10		X	6'X3'	N.A.	N.A.	6'X3' SLIDING TEMPERED GLASS EMPLOYEE PARTS WINDOW, JELDWIN BLVSL27236 OR EQ.	1

WINDOWS WHICH MEET THE MIN. U AND SHGC VALUES IN THIS TABLE ARE PROVIDED IN THE SPEC CUT SHEETS. ANY REPLACEMENT WINDOWS MUST BE TESTED BY AN INDEPENDENT LABORATORY IN ACCORDANCE WITH NFRC 100 AND PROVIDE A CERTIFIED U OR SHGC VALUE LESS THAN OR EQUAL TO THE VALUE PROVIDED IN THIS TABLE. ALL DOORS MUST MEET THE SPEC PROVIDED IN THE TABLE. ALL DOORS AND WINDOWS OPEN TO THE OUTSIDE MUST BE ENERGY STAR CERTIFIED.

WHEN INSTALLED THE WINDOWS AND DOORS SHALL BE CALKED AND FLASHED.
 CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL MEASUREMENTS.



- ⊙ A-1 BRACED WALL NUMBER
- ⬡ 2-2 WINDOW/DOOR NUMBER
- ⊙ 2-1 DETAIL SECTION (DETAIL NO., SHEET NO.)

NOTE: ALL SECOND FLOOR EXTERIOR WALLS OF 2X6 CONSTRUCTION. ANCHOR SILL TO FRONT CMU WALL WITH 1/2" X 6" ANCHOR BOLTS, 8" MIN. ON CENTER. FIRST ANCHOR ON EACH END MUST BE NO MORE THAN 2' FROM THE CORNER. REMAINING SIDES SHALL BE ANCHORED INTO EACH JOIST AND THE RIM BOARDS WITH 16d NAILS, TWO IN EACH JOIST AND 12" ON CENTER IN RIM BOARDS.

BRACED WALL DETAILS

NO.	LENGTH	METHOD
A-1	14'-8"	GB (GYPSUM BOARD)
A-2	11'-8"	GB (GYPSUM BOARD)
A-3	27'-4"	GB (GYPSUM BOARD)
B-1	58'-5"	GB (GYPSUM BOARD)
B-2	24'-10"	GB (GYPSUM BOARD)

NOTE: GB METHOD SHALL APPLY TO FIRST LAYER OF 5/8" GYPSUM BOARD ON INSIDE WALL WHERE SHOWN ON PLAN. FASTENERS SHALL BE 5d COOLER NAILS OR #6 SCREWS ON 7" CENTERS (MAX.) BOTH EDGES AND FIELD.

PROVIDE ATTIC ACCESS WITH LIFT UP COVER. DRAFT PAPER OF R-38 BATTING MUST BE GLUED TO BACK SIDE OF THE COVER TO MAINTAIN INSULATION INTEGRITY. MINIMUM OPENING SIZE IS 20"X30". PLACE BETWEEN TWO TRUSSES ANYWHERE HEAD ROOM IS AT LEAST 30".

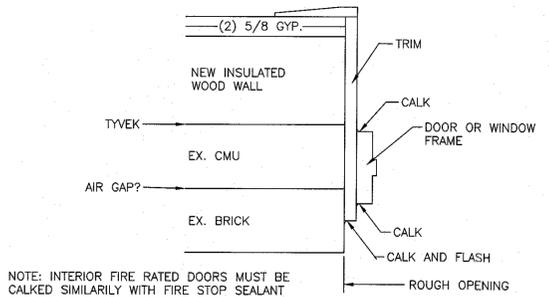
ALL HEADERS IN WOOD WALLS NOT IDENTIFIED MAY BE 2 OR 3 2X10 SPF #2 AT CONTRACTOR'S DISCRETION, 1ST FLOOR HEADERS SHOWN ON FLOOR JOIST PLAN (SHEET 11).

WINDOW AND DOOR SCHEDULE

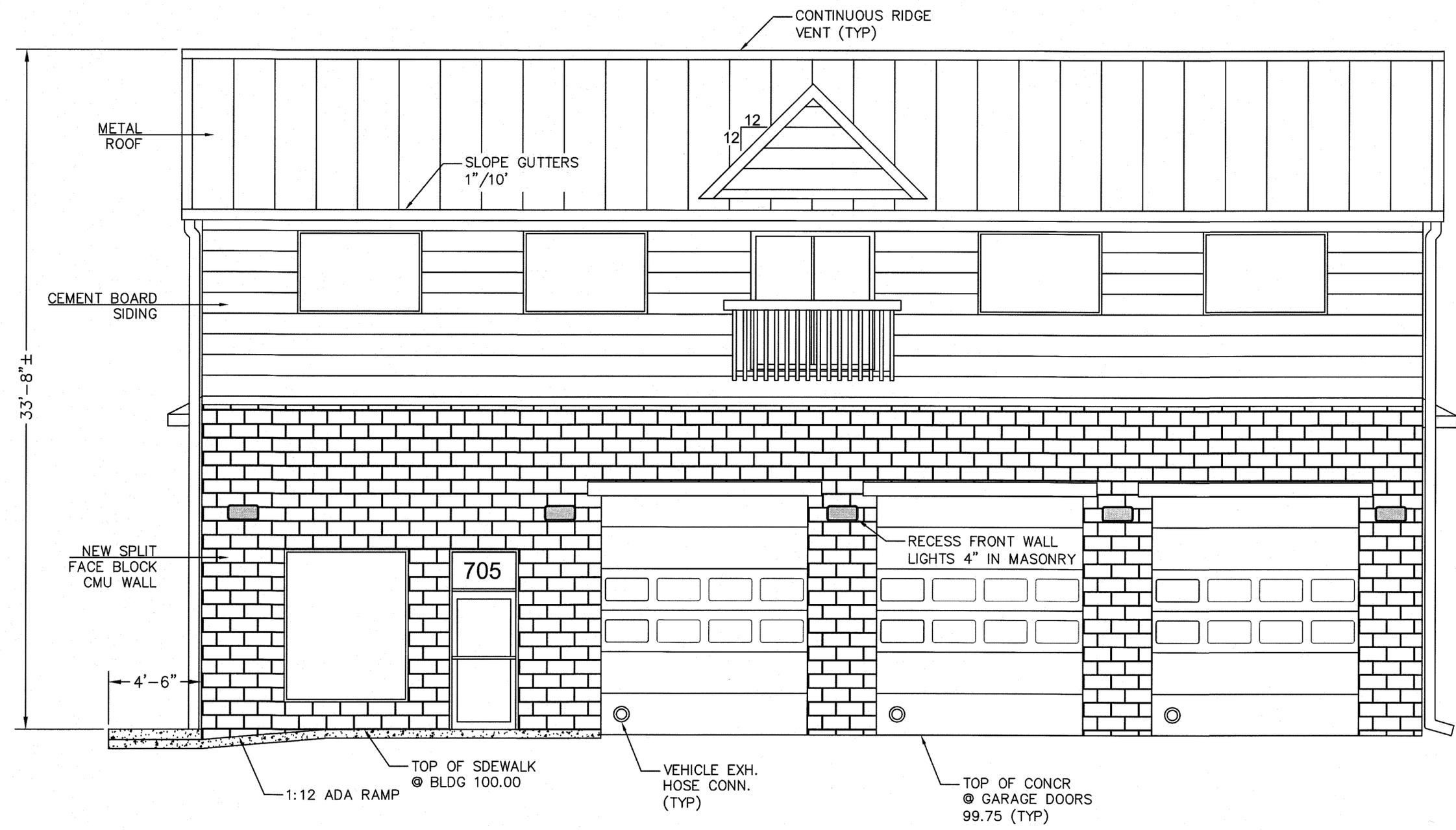
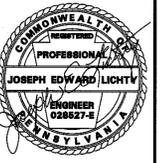
NO.	DOOR	WINDOW	RO SIZE	MIN. U	MIN. SHGC	DESCRIPTION	QTY.
2-1		X	6'x4'	0.35	0.40	DOUBLE PANED TEMPERED GLASS PICTURE WINDOW, JELDWIN BLVFW57248 OR EQ. MUST BE ENERGY STAR CERTIFIED.	5
2-2		X	2'-3"x3'-6"	0.35	0.40	DOUBLE HUNG DOUBLE OR TRIPLE PANE GLASS, JELDWIN BLVDH3624 OR EQ. MUST BE ENERGY STAR CERTIFIED.	1
2-3	X		6'-4"x6'-11"	0.35	0.40	SLIDING GLASS DOOR DOUBLE OR TRIPLE PANE TEMPERED GLASS, JELDWIN VSDV27282 OR EQ. MUST BE ENERGY STAR CERTIFIED.	1
2-4	X		3'-2"x6'-10"	N.A.	N.A.	36"X80" STEEL 1-HR RATED FIRE DOOR, LEVER HARDWARE, NO LOCK, AUTO CLOSE HARDWARE INCLUDED, PROVIDE SEAL AROUND ALL EDGES. CALK FRAME WITH FIRE STOP CALK, LEFT HANDED.	1

WINDOWS WHICH MEET THE MIN. U AND SHGC VALUES IN THIS TABLE ARE PROVIDED IN THE SPEC CUT SHEETS. ANY REPLACEMENT WINDOWS MUST BE TESTED BY AN INDEPENDENT LABORATORY IN ACCORDANCE WITH NFRC 100 AND PROVIDE A CERTIFIED U OR SHGC VALUE LESS THAN OR EQUAL TO THE VALUE PROVIDED IN THIS TABLE. ALL DOORS MUST MEET THE SPEC PROVIDED IN THE TABLE. ALL DOORS AND WINDOWS OPEN TO THE OUTSIDE MUST BE ENERGY STAR CERTIFIED.

WHEN INSTALLED THE WINDOWS AND DOORS SHALL BE CALKED AND FLASHED.
 CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL MEASUREMENTS.



TYPICAL DOOR AND WINDOW SEAL
 NO SCALE



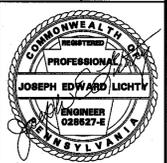
WEST

DRAWN BY: KAR
10/26/2015

SHEET 9
OF 26

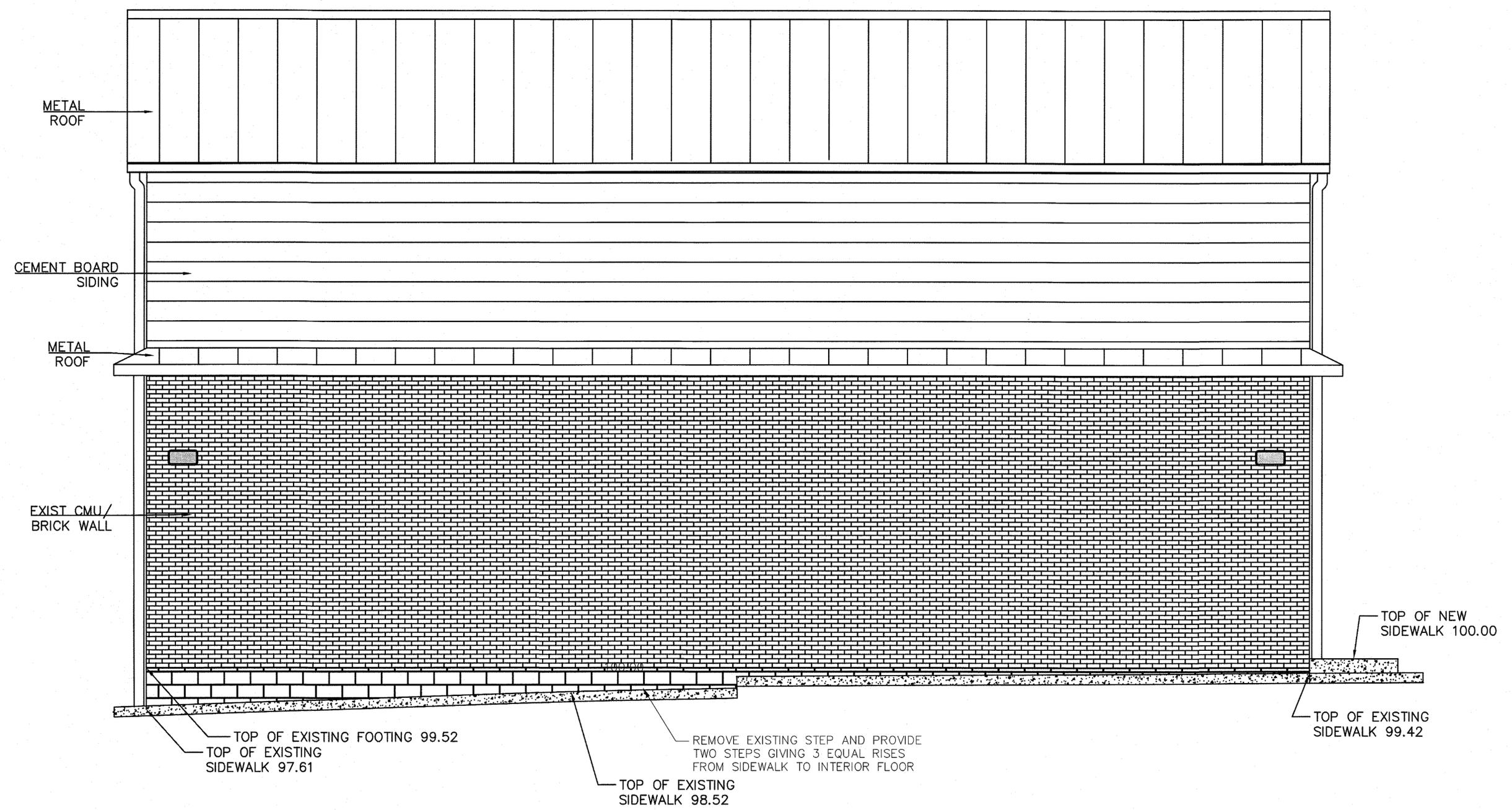
REVISIONS

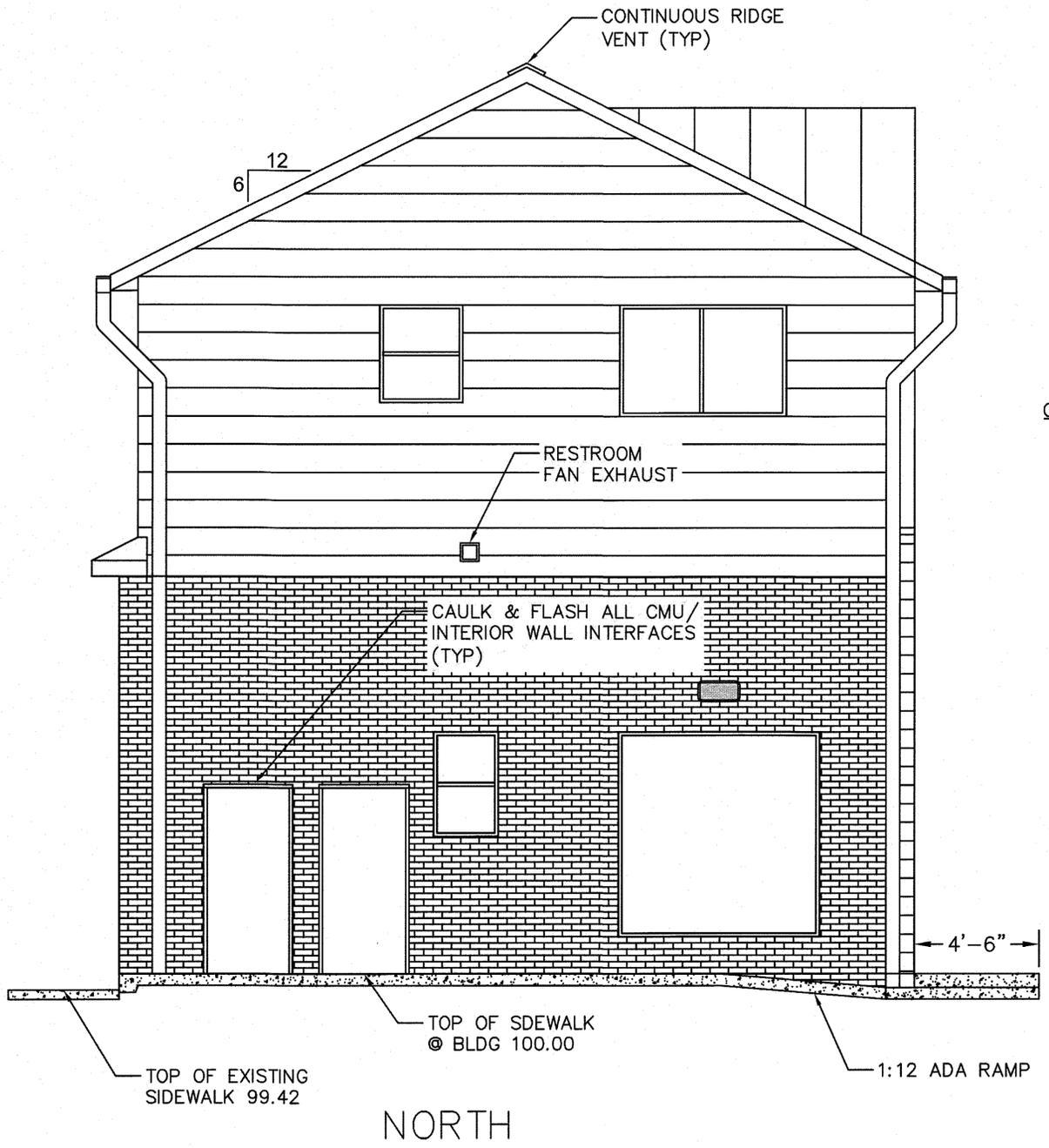
SCALE: 3/8" = 1'



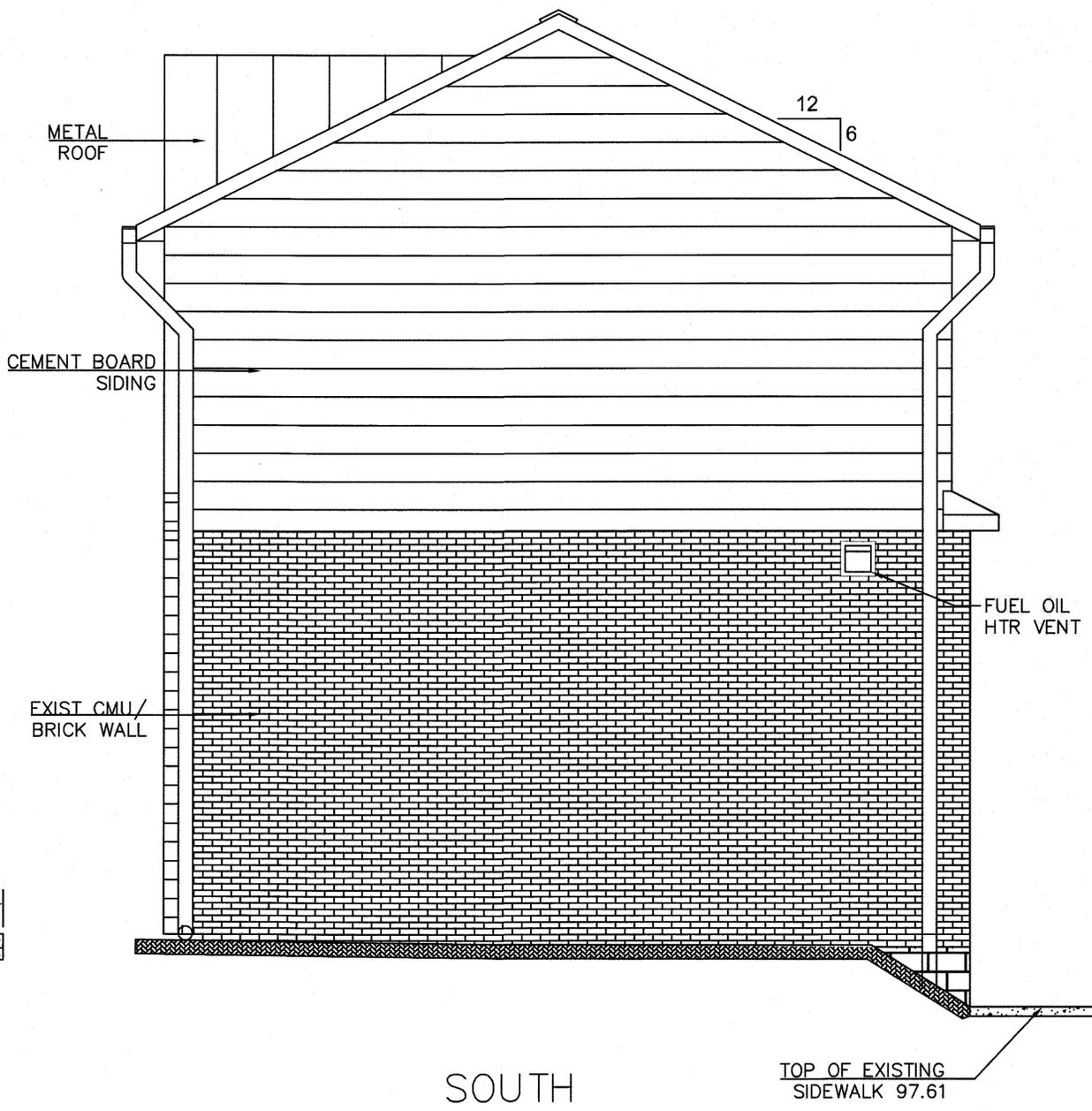
Penns Mobil Renovation Plan
705 South Atherton Street, State College, PA

REAR ELEVATIONS





NORTH



SOUTH

The “Ingrid”

In 1999, Dr. Paul Holtzman (husband of Ingrid) and his son Douglas established a fund to commemorate Paul's late wife Ingrid P. Holtzman. Each year, in recognition of Ingrid's years of service to the Borough, \$1,000.00 is given to a worthy individual, organization, company, or corporation who has enhanced, promoted, or maintained the aesthetic appearance of the Borough. The Manager approves the recipient based upon the recommendation of the Design Review Board.

In **2000**, the first recipients were Joel Malnick and Sarah Twibell for improving the preservation and adaptive reuse of 310 and 314 South Burrowes Street.

Andrew and Catherine Zangrilli received the **2001** award. This couple has done many things for the betterment of State College, as evidenced by the restoration of the building that houses Café Zio and the long-time treatment of The Deli. Catherine contributes her talent and time to such things as the Downtown State College Partnership's design committee and to designing State College's welcoming signs.

In **2002**, Joe Banks was the recipient. The selection was based on his placement of gardens at various locations in and out of the Borough using traditional flowers interspersed with vegetable plants.

At the **2003** dinner, Michael Pilato was given the Ingrid. Michael was instrumental in beginning and for placing several murals throughout State College.

Fred Fernsler received the award in **2004** for his design of many buildings such as the Alpha Fire Hall and Beaver Gardens and Borough projects including the Pugh Street garage renovation.

At the **2005** dinner, Penn State University received the Ingrid for the outstanding design for many projects on campus, including the Shortlidge Mall, Penn State Downtown Theatre Center, the IST building, and Eastview Terrace.

In **2006**, Curtis Graham received the award for designing many business signs which add to the rich streetscape in the downtown.

In **2007**, the Schlow Centre Region Library received the Ingrid for outstanding design of a building that fits the synergy of the downtown.

The State Theatre was awarded the Ingrid in **2008** for their historic reconstruction of the theatre.

In **2009**, the Prime Property Group, for the property located at 700 West College Avenue

In **2010**, the The Arboretum at Penn State.

In **2011**, the Community Arts Collective.

In **2012**, Jeramar Enterprises, Jeramar Plaza, 200 block of South Allen

In **2013**, David A. Levy & Associates

In 2014, Phil Hawk, for his skill and craftsmanship in the area of stonework.

Holtzman Award Guidelines

In an effort for staff to understand the award criteria, a set of guidelines have been developed for use by the Design Review Board when considering award nominees. This following list is based on information from previous award recipients and will be used to determine the annual Holtzman Award recipient.

- Project is located in the Borough
- Match or maintain historic character of the property and/or neighborhood
- Enhancement benefits or beautifies a specific public area or the community
- Incorporates a piece of public art by local artist(s)
- Ability to be used for community events, weddings, educational activities etc.
- Discreet and appropriately scaled for the site
- Building materials are elegant
- Nice site with framing views
- Innovative use of plants, trees, vegetation, and/or landscape architecture
- Charitable use i.e. affordable housing
- Meets or exceeds the scope of development for the property or neighborhood
- Deemed a benchmark project
- Remodeled, expanded, improved
- Aesthetically pleasing tone
- Honor financial contributors to project
- Prominent façade
- Blending of two or more neighborhoods
- Bike trails, racks
- Use of sustainable products
- Historic preservation
- Functionality
- Outside seating and architecture
- Outstanding design features
- Builder/Designer/Artist contribution to community
- Strategically located
- Safe zone