

**Meeting Agenda  
Design and Historic Review Board  
January 17, 2017  
Room 241 / 10:00 a.m.**

- I. Call to Order**
- II. Roll Call**
- III. Election of Officers**
- IV. Approval of Minutes**
- V. Chair Report**
- VI. Public Hour - Hearing of Citizens**
- VII. Sign**
  - A. New Sign, V K Wealth Advisors, 224 West Hamilton Avenue, CP3 Zoning District
- VIII. Land Development Plan**
  - A. Music I Renovations and Recital Hall, UPD Subdistrict 5 Zoning District, The Pennsylvania State University, owner, Stahl Shaeffer Engineering, Engineer and Bostwick Design Partnership, Architect
  - B. Proposed Demolition of 312 and 338 West College Avenue buildings listed in the 1982 Historic Resources of the Centre Region inventory report.
- IX. House Plaque**
  - A. House Plaque – 519 South Fraser Street
- X. Official Reports and Correspondence**
  - A. Borough Council
  - B. Planning Commission
  - C. 2017 Conflict of Interest Memo
- XI. Adjournment**

*Documents:*

***Design and Historic Review Board - January 17, 2017.pdf***

**Meeting Agenda  
State College Borough  
Design and Historic Review Board  
January 17, 2017  
Room 241 / 10 a.m.**

**I. Call to Order**

**II. Roll Call**

Eric Boeldt  
Richard Bryant  
Richard Devon  
Laird Jones  
Bond Reinhardt  
Wendy Schneider  
Eric White

**III. Election of Officers**

**IV. Approval of Minutes – none**

**V. Chair Report**

**VI. Public Hour - Hearing of Citizens**

**VII. Sign**

A. New Sign, V K Wealth Advisors, 224 West Hamilton Avenue, CP3 Zoning District

Attached to the agenda is a copy of the proposed wall signs. The signs are new due to the new tenant space created at the Hamilton Shopping Center.

The proposed signs are attached on **page 4**.

Design and Historic Review Board Action (DHRB): Provide feedback on the sign's design, placement and effectiveness. Because the property is located in a planned commercial district, DRB review is required before the permit can be issued. Authority for issuing the permit is vested with staff. A formal motion is required.

**VIII. Land Development Plan**

A. Music I Renovations and Recital Hall, UPD Subdistrict 5 Zoning District, The Pennsylvania State University, owner, Stahl Shaeffer Engineering, Engineer and Bostwick Design Partnership, Architect

The project consists of renovations to the existing Music I Building and the addition of a new Recital Hall that will connect to the east side of the Music I Building. The Music Building was constructed in 1964 and has not had significant renovations since it was built. The new Recital Hall will be located in the courtyard area that is situated between the Music I building, Theatre Building, Forum, and the Pasquerilla Spiritual Center. The approximate site area to be changed is 0.9 acres and includes the new recital hall building, pedestrian walkways, seating areas, landscaping, and associated stormwater management.

The Music I building faces Allen Road and the Recital Hall building will be connected and accessed by campus walkways. Vehicular access will be restricted to service vehicles. The erosion and sediment control approach integrates the use of the existing site and mild slopes which will minimize disturbance and runoff issues during the demolition phase of the project.

Attached to the agenda on **pages 5-14** are an aerial view, photos of the site and excerpts from the plan set.

Design and Historic Review Board Action (DHRB): The Board is advisory to the Borough. Comments from the Board will assist the design team to consider additional design options or modifications but they cannot be mandated. No formal motion required. Staff will summarize the Board's comments and forward the comments to the applicant as part of the preliminary plan review letter.

**B. Proposed Demolition of 312 and 338 West College Avenue buildings listed in the 1982 *Historic Resources of the Centre Region* inventory report.**

Both 312 and 338 West College Avenue are located between South Atherton Street and South Burrowes in downtown State College Borough. The properties are not part of either Historic District rather the Borough's Zoning Ordinance notes properties listed in the 1982 report proposed for demolition must be discussed in anticipation of their demolition. Therefore, per the Zoning Ordinance review by the Board is required.

The proposal is to demolish these buildings along with the remaining buildings between the two buildings for a future land development plan.

According to *Historic Resources of the Centre Region*, the buildings located at 312 and 338 West College Avenue were constructed in 1910.

Attached to the agenda on **pages 16-20** are an excerpt of from the report, a photo of the properties to be demolished, and preliminary plan drawings of the proposed building. A preliminary land development plan review will occur by the Board at the February meeting.

Design and Historic Review Board Action (DHRB): This is a discussion and information item for the Board related to the demolition of 312 and 338 West College Avenue only. Comments may be made on the proposed demolition but is not required.

**IX. House Plaque**

A. House Plaque – 519 South Fraser Street

Application has been submitted by the property owner to purchase a plaque for their home at 519 South Fraser Street located in the Holmes-Foster/Highlands Historic District. A street view of the home and copy of the building permit is attached to the agenda on **pages 21-22**.

The following text is for the Board to consider and approve.

Tutor Revival Home  
Built in 1940  
For G.B. Romer

Design and Historic Review Board Action (DHRB): Members are requested to consider the draft text as suggested in the agenda. A motion is required to approve.

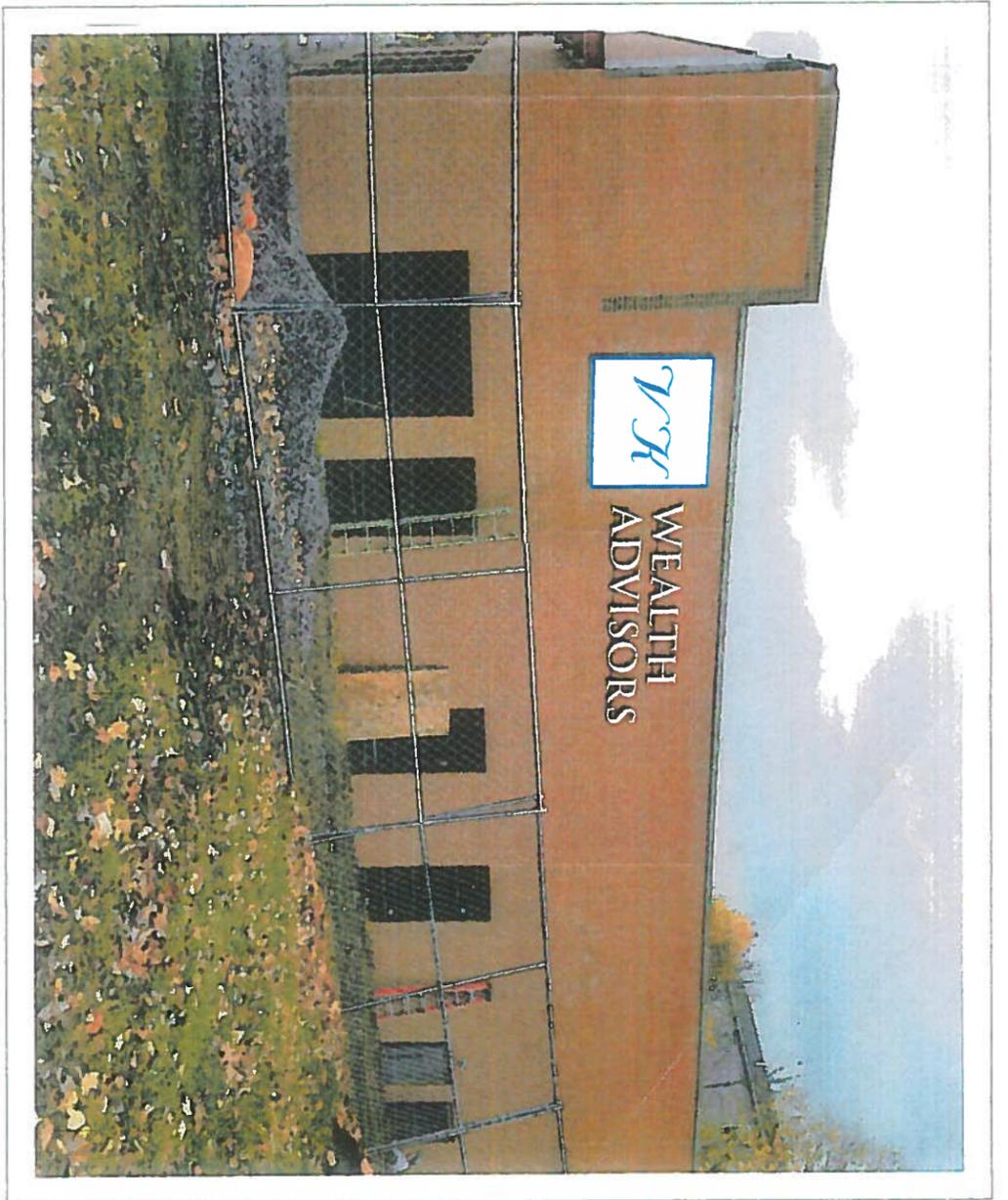
**X. Official Reports and Correspondence**

A. Borough Council

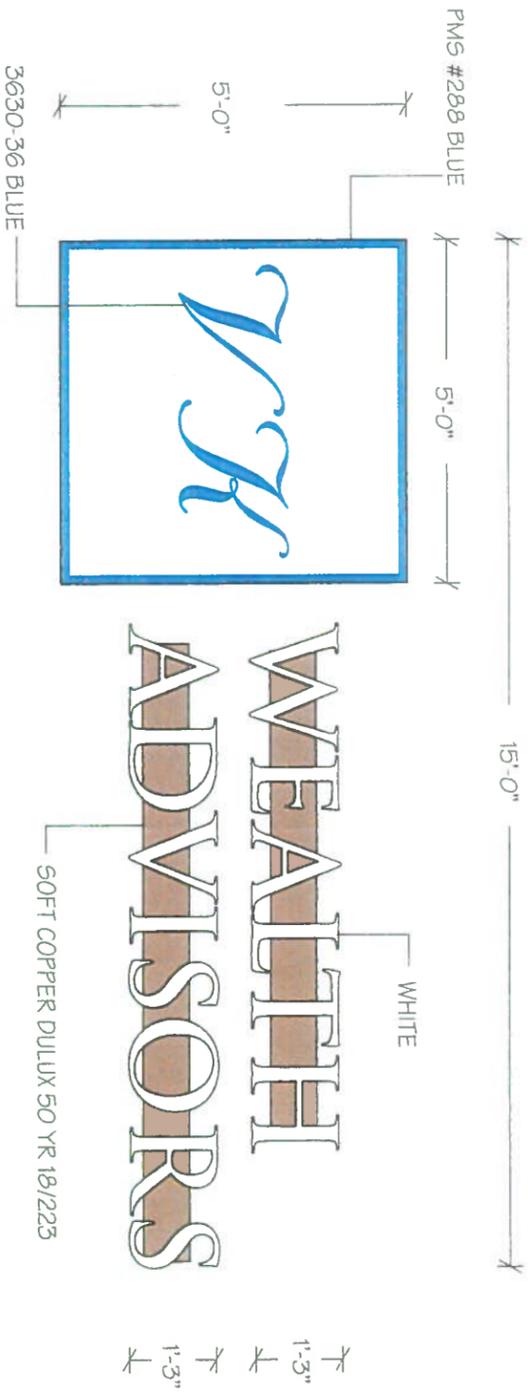
B. Planning Commission

C. 2017 Conflict of Interest Memo

**XI. Adjournment**

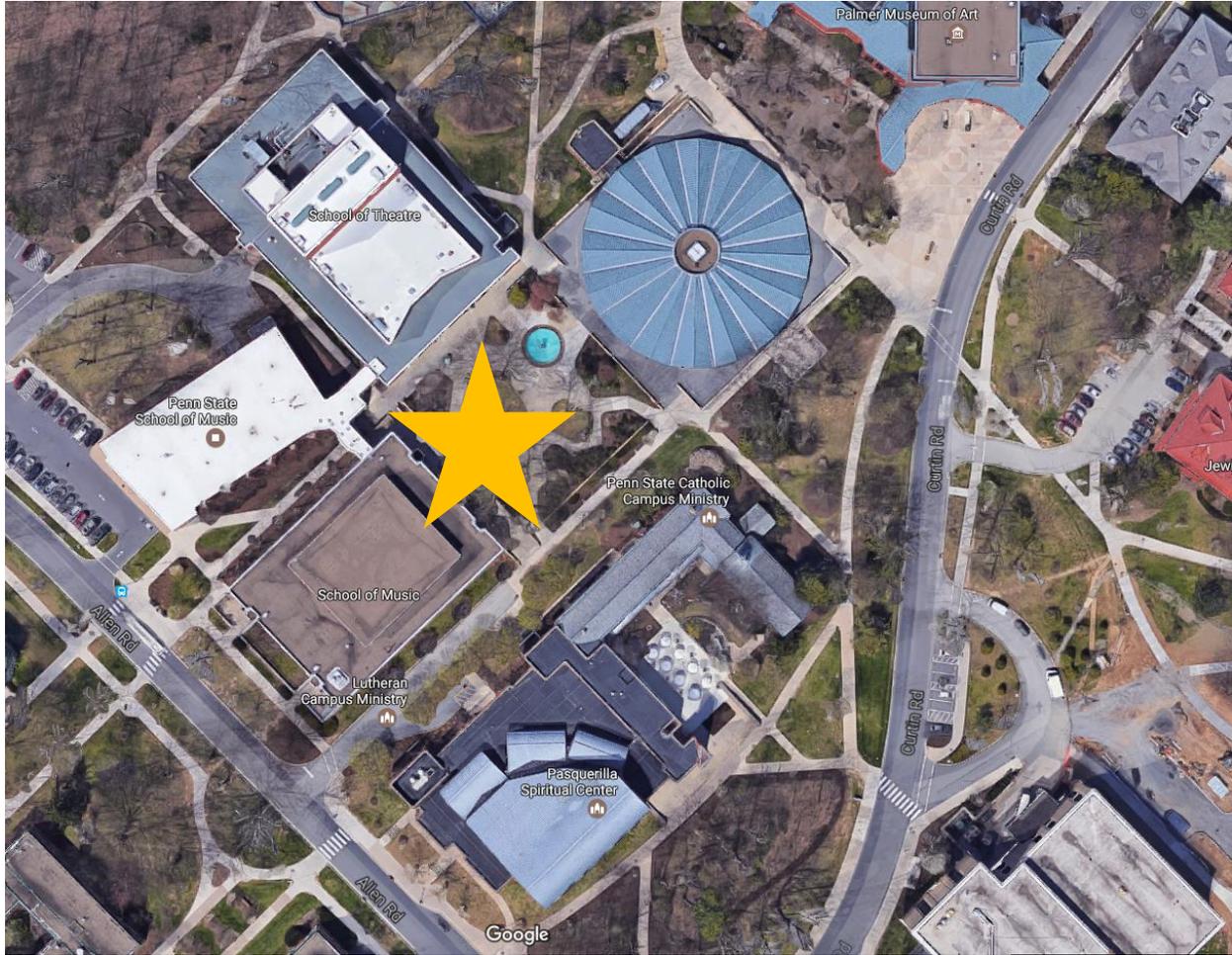


SQUARE FOOTAGE OF SIGN = 75 SQ. FT.



(2) 5'-0" H X 5'-0" W SINGLE FACE INTERNALLY ILLUMINATED SIGN  
 FLAT WHITE ACRYLIC FACES W/ APPLIED VINYL GRAPHICS  
 (2 SETS) 1'-3" H INDIVIDUALLY ILLUMINATED CHANNEL LETTERS  
 WHITE ACRYLIC FACES W/ WHITE TRIM CAP & BLUE RETURNS  
 INSTALL RACEWAY MOUNTED

UNITED ADVISORS VK WEALTH ADVISORS (STATE COLLEGE, PA)	SCALE: 3/8" = 1'-0"	CUSTOMER APPROVAL SIGNED:	DATE:
	DRAWN BY: CK	UL LISTED Location: #884808-001 File: #E155468	© Sekula Sign Corporation This is an original unpublished drawing, created by Sekula Sign Corporation. It is submitted for your exclusive use, in connection with a project being planned by Sekula Sign Corporation. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. This drawing is property of Sekula Sign Corporation.
NO. B-4409-16	DATE: 12-12-16	REVISION:	SEKULA SIGN corporation 811 South Brady Street P.O. Box 395 DuBois, PA 15801 Phone: (814) 371-4850 Fax: (814) 371-8261 www.sekulasigns.com
	FILE: VKGROUPPLT	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	



Aerial view of project area (Source Google maps)



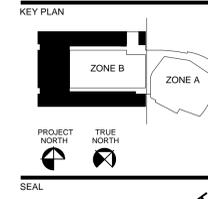
Existing conditions view 1 (Source Google maps)



Existing conditions view 2 (Source Google maps)

**SHEET NOTES**

**LEGEND**



**PROGRESS PRINTS  
NOT FOR  
CONSTRUCTION**

**Bostwick  
Design  
Partnership**

2728 Prospect Avenue - Cleveland, OH 44115 - 216.621.7900  
2621 West 88th Street - Erie, PA 16506 - 814.838.7525  
400 59th St. - Westerville, OH 43081 - 614.882.7868  
www.bostwickdesign.com

BOP NO. 15115

**PENN STATE**

**RECITAL HALL &  
MUSIC I RENOVATION**

ISSUED/REVISED FOR	DATE
90% SCHEMATIC DESIGN	11 APRIL 2016
100% SCHEMATIC DESIGN	18 APRIL 2016
100% DESIGN DEVELOPMENT	29 AUGUST 2016
50% CONSTRUCTION DOCUMENTS	28 NOV 2016

**COVER SHEET**

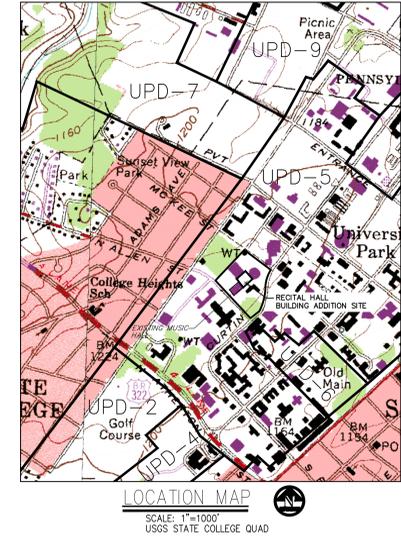
SHEET NO. **C100**

# RECITAL HALL & MUSIC I RENOVATION

## PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

### PENNSYLVANIA STATE UNIVERSITY UNIVERSITY PARK CAMPUS

DECEMBER 9, 2016  
STATE COLLEGE BOROUGH,  
CENTRE COUNTY, PENNSYLVANIA



**PROJECT LOCATION**

**VICINITY MAP**  
SCALE: 1"=200'

**STORMWATER MANAGEMENT ACCESS AND MAINTENANCE EASEMENT INFORMATION**

1. THE STATE COLLEGE BOROUGH, ITS AGENTS AND ASSIGNS HAVE THE UNIMPEDED RIGHT TO ENTER ONTO AND UPON THE PROPERTY FOR THE PURPOSE OF INSPECTION AND/OR MAINTENANCE OF THE STORMWATER FACILITIES. THIS NOTE APPLIES TO THE ENTIRE PROPERTY SHOWN ON THESE PLANS AND SHALL BE IN EFFECT FOR PERPETUITY.
2. THE STATE COLLEGE BOROUGH AND/OR THE CENTRE COUNTY CONSERVATION DISTRICT MAY REQUIRE THE OWNER TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS, AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STORMWATER MANAGEMENT, AND PERMANENT EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AT THIS PROJECT SITE. THE OWNER SHALL IMMEDIATELY NOTIFY THE STATE COLLEGE BOROUGH AND THE CENTRE COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES.
3. THE OWNER HEREBY ACKNOWLEDGES STATE COLLEGE BOROUGH'S RIGHT TO PERIODICALLY ACCESS THE PROJECT SITE TO INSPECT THE PERMANENT STORMWATER MANAGEMENT FACILITIES THAT ARE PART OF THIS PROJECT. THE OWNER ALSO HEREBY ACKNOWLEDGES STATE COLLEGE BOROUGH'S RIGHT TO ACCESS THE PROJECT SITE WITH NOTICE TO REPAIR AND/OR MAINTAIN THE PERMANENT STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THIS MAINTENANCE PLAN. ANY MAINTENANCE AND/OR REPAIR ACTIVITIES CONDUCTED BY STATE COLLEGE BOROUGH SHALL BE AT THE EXPENSE OF THE OWNER.

**GENERAL UTILITY & ONE CALL INFORMATION:**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE - BEFORE YOU DIG CALL THE PA ONE CALL SYSTEM TELEPHONE NUMBER 1-800-242-1776. ONE-CALL SERIAL # 20150991980

ALL UTILITY INFORMATION AND LOCATIONS SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. ALL UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD. CONTRACTOR SHALL NOTIFY PA ONE CALL (1-800-242-1776) AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION.

- \* ELECTRIC - PENN STATE UNIVERSITY  
113 PHYSICAL PLANT BUILDING  
UNIVERSITY PARK, PA 16802  
CONTACT: WILLIAM HARRIS  
PHONE: 814-863-8742
- \* SANITARY SEWER - PENN STATE UNIVERSITY  
113 PHYSICAL PLANT BUILDING  
UNIVERSITY PARK, PA 16802  
CONTACT: JOHN GAUDILIP  
PHONE: 814-863-8741
- \* WATER - PSU WATER SERVICES  
152 N PHYSICAL PLANT BUILDING  
UNIVERSITY PARK, PA 16802  
CONTACT: JIM BARD  
PHONE: 814-238-0985
- \* TELEPHONE - VERIZON PENNSYLVANIA, INC.  
303 WALNUT STREET  
STRAWBERRY SQUARE, 11TH FLOOR  
HARRISBURG, PA 17101  
PHONE: 717-255-5113
- \* GAS - PENN STATE UNIVERSITY  
113 PHYSICAL PLANT BUILDING  
UNIVERSITY PARK, PA 16802  
CONTACT: WILLIAM SERENCISITS  
PHONE: 814-863-3192
- \* CABLE - COMCAST  
60 DECIBEL ROAD  
STATE COLLEGE, PA 16801  
PHONE: 800-266-2278
- \* COMMUNICATIONS - PENN STATE UNIVERSITY-TELECOMMUNICATIONS  
112 UNIVERSITY SUPPORT BUILDING 2  
UNIVERSITY PARK, PA 1680  
PHONE: 814-865-3988



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

**SITE INFORMATION**

- A. OWNERS OF RECORD: THE PENNSYLVANIA STATE UNIVERSITY FACILITIES AND REAL ESTATE  
107 PARK AVENUE BUILDING  
UNIVERSITY PARK, PA 16802
- B. TAX PARCEL: 36-6-88
- C. DEED BOOK/PAGE NUMBER: V/22-23, V/20
- D. PROPERTY SIZE: 60.0 AC.
- E. ZONING: UPD-5 UNIVERSITY PLANNED DISTRICT, SUBDISTRICT 5  
FAR (FLOOR AREA RATIO): 0.5  
MAX. IMPERVIOUS COVERAGE: 13%  
MINIMUM OPEN SPACE: 87%  
SETBACKS: NONE  
(REQUIRED IN UPD-11 ALONG MOUNT NITTANY EXPRESSWAY AND PARK AVENUE ONLY)
- F. SITE USE EXISTING: COLLEGE OF MUSIC COURTYARD
- G. SITE USE PROPOSED: MUSIC RECITAL HALL (ADDITION TO MUSIC I) & REVISED COURTYARD
- H. IMPERVIOUS CHANGE: 2,613 SF (0.06 AC.)
- I. PARKING REQUIREMENTS: PER UPD DISTRICT 5 ZONING, THE NUMBER OF SPACES TO BE PROVIDED SHALL BE DETERMINED BY HISTORICAL DEMAND FOR EACH CATEGORY OF PARKING USERS AND COMPUTED UTILIZING A FORMULA THAT SPECIFIES THE NUMBER OF SPACES TO BE PROVIDED FOR THE NUMBER OF PERSONS WITHIN A CATEGORY.  
EXISTING PARKING: NONE (NO BUILDING/PARKING FACILITIES WITHIN SITE LOCATION)  
PROPOSED PARKING: NO ADDITIONAL SPACES.
- J. SOILS INFORMATION: HcB - HAGERSTOWN SILTY CLAY LOAM (3 TO 8% SLOPES)

**GENERAL NOTES**

1. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON ABOVE-GROUND APPURTENANCES AND SUPPLEMENTAL INFORMATION SUPPLIED BY THE UTILITY PROVIDERS. NO LOCATION BY EXCAVATION WAS COMPLETED.
2. A PROJECT SEWER SERVICE AND WATER SERVICE IS EXISTING AND PROVIDED BY PENN STATE UNIVERSITY.
3. A PROJECT NARRATIVE HAS BEEN SUBMITTED AS PART OF THIS LAND DEVELOPMENT PLAN.
4. PROJECT BENCHMARK FOR THIS PROJECT IS A SSE CONTROL NAIL ("SSE CP1") LOCATED ON THE NORTHEAST SIDE OF THE SITE WITHIN A GRASS ISLAND ACROSS THE ROAD FROM THE SITE.  
N: 000000.0000 / E: 0000000.0000 / ELEV: 0000.00
5. A ZONING PERMIT FOR THIS PROJECT WAS APPLIED FOR ON \_\_\_\_\_
6. THE CONTRACTOR SHALL PERFORM CONSTRUCTION STAKEOUT, INCLUDING LIMITS OF DISTURBANCE, AND CONFIRM ELEVATIONS AND SLOPES PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL INSTALL DELINEATION MARKINGS WITH CONSTRUCTION FENCE OR OTHER SUITABLE MATERIAL ALONG ALL LIMITS OF DISTURBANCE. NO EARTH DISTURBANCE (INCLUDING LAND CLEARING AND GRUBBING, GRADING, EXCAVATIONS, MOVING, DEPOSITING, STOCKPILING, OR STORING OF SOIL, ROCK OR EARTH MATERIALS) ARE TO TAKE PLACE OUTSIDE THE LIMITS OF DISTURBANCE. EARTH DISTURBANCE MUST REMAIN UNDER ONE ACRE FOR THIS PROJECT.

**STORMWATER FACILITIES POST-CONSTRUCTION MAINTENANCE PROGRAM**

The owner shall be responsible for ensuring the proper operation and function of the stormwater facilities located on the property. This plan includes the design and specifications of the associated Post-Construction Stormwater Management (PCSM) narrative. The operation and maintenance program shall include the following:

1. Stormwater facilities should be inspected by the land owner or the owner's designated responsible entity on the following basis:
  - A. Annually
  - B. During or immediately after every ten-year or greater storm event.
2. Documentation of inspections must be maintained by the owner and submitted to the Borough upon request. Maintenance inspections may be performed by the Borough to ensure proper functioning of all stormwater facilities.
3. The stormwater management facilities shall be kept free of debris and leaves.
4. The owner is responsible for maintaining the stormwater management in accordance with the approved design. If the Borough determines at any time that any permanent stormwater facility has been eliminated, altered or improperly maintained, the owner of the property shall be advised of corrective measures required and given 7 days to initiate appropriate action in accordance with a time schedule dictated by the Borough. If such action is not taken by the property owner, the Borough may cause the work to be done and charge all costs to the property owner.

**DRAWING INDEX:**

C100	COVER SHEET AND LOCATION MAPS
C101	EXISTING CONDITIONS
C102	DEMOLITION PLAN
C103	SITE PLAN
C103.1	BID ALTERNATE
C104	GRADING PLAN
C105	LANDSCAPING PLAN
C106	LIGHTING PLAN
C107	EROSION & SEDIMENT CONTROL PLAN
C107.1	EROSION & SEDIMENT CONTROL DETAILS
C108	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
C108.1	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
C109	UTILITY PLAN
C109.1	UTILITY DETAILS
C110.1	CONSTRUCTION DETAILS
C110.2	CONSTRUCTION DETAILS
C110.3	CONSTRUCTION DETAILS

**GENERAL NOTES:**

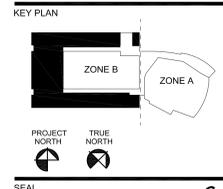
1. **PROJECT SCOPE INCLUDES:** CONSTRUCTION OF MUSIC RECITAL HALL BUILDING ADDITION, MUSIC 1 RENOVATIONS, SITE LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT.
2. COORDINATE WORK AND SCHEDULE WITH RACHEL PRINKEY, PROJECT MANAGER AT 814-867-1536.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
4. WORK SITE SHALL BE PROTECTED AT ALL TIMES. BARRICADES, WARNING SIGNS, GUARDS, LIGHTS, ETC. SHALL BE ERECTED AS REQUIRED. NO TRENCHES OR EXCAVATIONS MAY REMAIN OPEN OVERNIGHT OR BE LEFT UNPROTECTED.
5. ALL CONSTRUCTION AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF PENN D.O.T. PUBLICATION 408, THESE DRAWINGS, UNIVERSITY DESIGN AND CONSTRUCTION STANDARDS AND THE CONTRACT SPECIFICATIONS. WHERE THESE DOCUMENTS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
6. ALL WORK RELATING TO THIS PROJECT SHALL BE SUBJECT TO ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS REGARDING OCCUPATIONAL SAFETY AND HEALTH, ENVIRONMENTAL PROTECTION, AND CONSTRUCTION STANDARDS. NOTHING CONTAINED IN THE SPECIFICATIONS OR THE DRAWINGS SHALL BE CONSTRUED TO CONFLICT WITH SUCH LAWS, CODES, ORDINANCES, OR REGULATIONS, AND IN THE EVENT OF SUCH CONFLICT ANY REQUIREMENT IMPOSED BY LAW, ORDINANCE, OR REGULATION SHALL BE DEEMED CONTROLLING.
7. CONTRACTOR SHALL NOT DISTURB ANY GROUND BEYOND THE IMMEDIATE AREA REQUIRED FOR THE EX. DEMOLITION AND THE NEW CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXCAVATION, DISTURBANCE AND COMPACTION WITHIN THE IMMEDIATE CONSTRUCTION AREA TO PROTECT EXISTING ROOT SYSTEMS OF TREES.
8. ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.
8. COORDINATE TREE PROTECTION AND SITE RESTORATION WITH DEREK KALP, UNIVERSITY LANDSCAPE ARCHITECT, 814-863-8740. ALL TURF AND LANDSCAPE AREAS COMPACTED OR DAMAGED DURING CONSTRUCTION SHALL BE CORRECTED THROUGH EXCAVATION, ROTO-TILLING, AERATION, OR OTHER APPROVED METHODS TO THE SATISFACTION OF TOM FLYNN, UNIVERSITY LANDSCAPE ARCHITECT, 863-4531 OR 777-4531.
9. ALL EXISTING CURBING, SIDEWALK, ETC. THAT IS NOT SPECIFIED FOR REPLACEMENT SHALL BE PROTECTED DURING CONSTRUCTION (SPECIFICALLY, CONSTRUCTION VEHICLES ENTERING THE SITE).
10. ALL EXISTING CONCRETE AND BITUMINOUS AREAS SHALL BE SAW-CUT AT THE PROJECT LIMITS. NEW WORK SHALL BE SMOOTHLY TRANSITIONED INTO EXISTING FEATURES.
11. ALL EXISTING CONCRETE CURBS AND GUTTERS TO REMAIN SHALL BE SAW CUT AT THE LIMIT OF CONSTRUCTION. SEAL ALL JOINTS WITH AC-20.

12. NO UTILITIES, OTHER THAN THOSE INDICATED, SHALL BE INTERRUPTED OR DISTURBED FOR THIS PROJECT.
13. CONTACT THE OFFICE OF PHYSICAL PLANT SHOULD UNEXPECTED EXISTING UNDERGROUND UTILITIES BE ENCOUNTERED.
14. ADJUST ELEVATION OF ALL EXISTING MANHOLE COVERS, VALVES BOXES, GRATES, JUNCTION BOXES, ETC. TO ACCOMMODATE NEW FINISHED GRADE.
15. EACH NEW STORM DRAIN TRENCH SHALL BE EXCAVATED IN ITS ENTIRETY BEFORE ANY PIPE IS INSTALLED TO ENSURE THE SLOPES AND GRADES SHOWN ON THE DRAWINGS CAN BE ACHIEVED. IF UTILITY INTERFERENCE OCCURS, CONTACT PROJECT ENGINEER OR OFFICE OF PHYSICAL PLANT FOR REVISED INFORMATION.
16. DIGITAL AS-BUILT SURVEYS (IN AUTOCAD, USING PENNSYLVANIA STATE PLANE NAD 83) OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDING, BUT NOT LIMITED TO, SURFACE PONDS, UNDERGROUND DETENTION FACILITIES, BMP'S, CONVEYANCE PIPES, MANHOLES, AND INLETS WILL BE PROVIDED TO THE UNIVERSITY. **RED LINE MARK-UPS ARE NOT ACCEPTABLE.**
17. DIGITAL AS-BUILT SURVEYS (IN AUTOCAD, USING PENNSYLVANIA STATE PLANE NAD 83) OF ALL NEW WORK, GRADES, UTILITY CONFLICTS, AND ANY DISCREPANCIES BETWEEN FIELD AND DESIGN DOCUMENTS WILL BE PROVIDED TO THE UNIVERSITY. **RED LINE MARK-UPS ALONE ARE NOT ACCEPTABLE.**
18. COMPACT EACH LAYER TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION INDICATED BELOW. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. SEE ENGINEER FOR COMPLETE SPECIFICATIONS.  
**PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS:** COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D 1557 (MODIFIED PROCTOR):  
A. UNDER STRUCTURES, BUILDING SLABS AND STEPS, COMPACT TOP 12 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.  
B. UNDER LAWN OR UNPAVED AREAS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.  
C. UNDER WALKWAYS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DENSITY.
19. FURNISH BACKFILL AND FILL SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION; DEBRIS; WASTE; FROZEN MATERIALS; VEGETATION; AND OTHER DELETERIOUS MATTER. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
20. ALL EXCAVATION IS UNCLASSIFIED AND INCLUDES (WITHOUT LIMITATION THERETO) THE EXCAVATION AND REMOVAL OF ALL SOIL, SHALE, ROCK OR ROCK FORMATIONS, BOULDERS, EXISTING FOUNDATIONS, FILL, AND ANY TYPE OF SUBSURFACE CONDITION ENCOUNTERED IN THE CONTRACT AREA. NO CLAIMS FOR EXTRA COMPENSATION OR EXTENSION OF CONTRACT TIME BECAUSE OF THE NATURE OF SUBSURFACE CONDITIONS ENCOUNTERED WILL BE CONSIDERED.
21. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING THE GUIDELINES PRESENTED IN FEDERAL REGISTER, VOLUME 54, NO. 209 (OCTOBER 1989), THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SECTION TITLED "CONSTRUCTION STANDARDS FOR EXCAVATION, 29 CFR, PART 1926, SUBPART P."

**SHEET NOTES**

**LEGEND**

**STAHL SHEAFFER  
ENGINEERING**



**PROGRESS PRINTS  
NOT FOR  
CONSTRUCTION**

**Bostwick  
Design  
Partnership**

2728 Prospect Avenue, Chesham, NJ 08815 • (212) 621-7900  
3011 West 8th Street, Elm, PA 15201 • (412) 628-7500  
400 SW 1st Avenue, Fort Lauderdale, FL 33301 • (954) 352-7500  
www.bostwickdesign.com

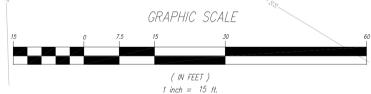
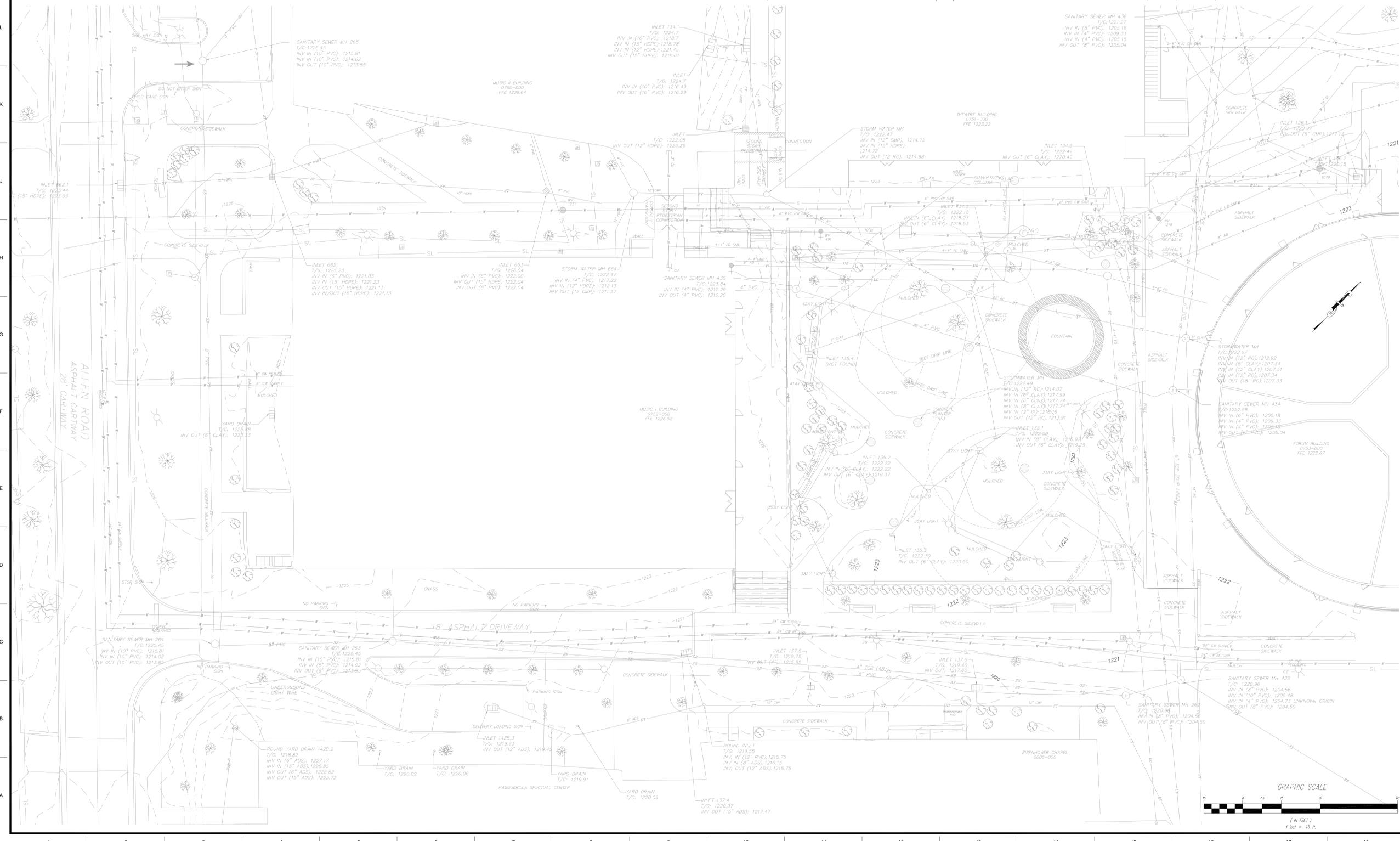
**PENN STATE**

**RECITAL HALL &  
MUSIC I RENOVATION**

ISSUED/REVISED FOR	DATE
90% SCHEMATIC DESIGN	11 APRIL 2016
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**EXISTING CONDITIONS  
PLAN**

SHEET NO. **C101**

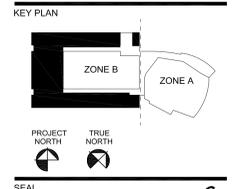


4/21/2016 9:33:49 AM

**SHEET NOTES**

**LEGEND**

**STAHL SHEAFFER  
ENGINEERING**



**PROGRESS PRINTS  
NOT FOR  
CONSTRUCTION**

**Bostwick  
Design  
Partnership**

2728 Prospect Avenue, Cleveland, OH 44115 | 216.621.7900  
3031 West 8th Street, Erie, PA 16502 | 814.838.7532  
400 SW 1st Avenue, Fort Lauderdale, FL 33301 | 954.362.7598  
www.bostwickdesign.com

BDF NO. 15115

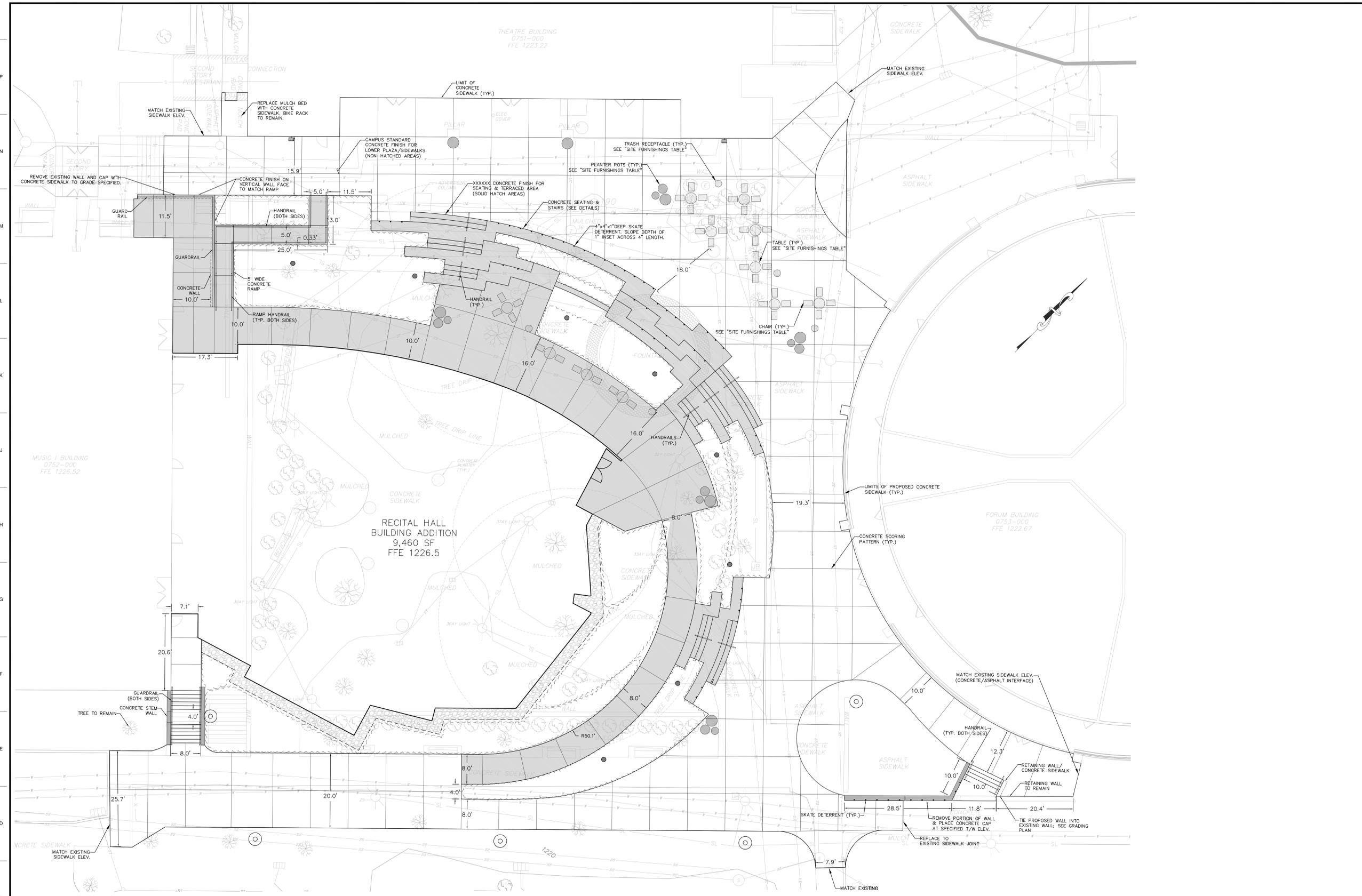
**PENN STATE**

**RECITAL HALL &  
MUSIC I RENOVATION**

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90% SCHEMATIC DESIGN	11 APRIL 2016
100% SCHEMATIC DESIGN	18 APRIL 2016
100% DESIGN DEVELOPMENT	29 AUGUST 2016
50% CONSTRUCTION DOCUMENTS	28 NOV 2016

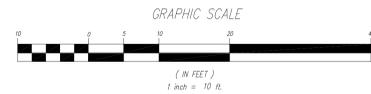
**SITE PLAN**

SHEET NO. **C103**



**SITE FURNISHINGS TABLE**

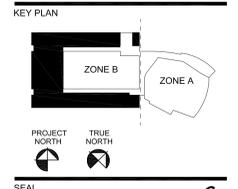
TYPE	VENDOR	MODEL	QUANTITY	NOTES
TABLE	LANDSCAPE FORMS	CHIPMAN	11	36" DINING, SILVER POWDERCOAT FINISH
CHAIR	LANDSCAPE FORMS	CHIPMAN	38	ARMED CHAIR, SILVER POWDERCOAT FINISH
RECEPTACLE	KEYSTONE RIDGE	MIDTOWN #MT3D-32 #LID32(LID)	5	32 GAL W/ LID, SIDE DOOR, ELEVATED LEGS, ELEVATED LID, GLOSS BLACK POWDERCOAT
PLANTERS	KORNEGAY DESIGNS	FACETED SERIES #FS-12	5	12" HT X 30" DIA (MATCH BUILDING PRECAST COLOR)
		FACETED SERIES #FS-18	5	18" HT X 24" DIA (MATCH BUILDING PRECAST COLOR)
		FACETED SERIES #FS-24	7	24" HT X 36" DIA (MATCH BUILDING PRECAST COLOR)



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**SHEET NOTES**

**LEGEND**



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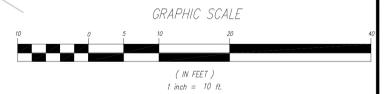
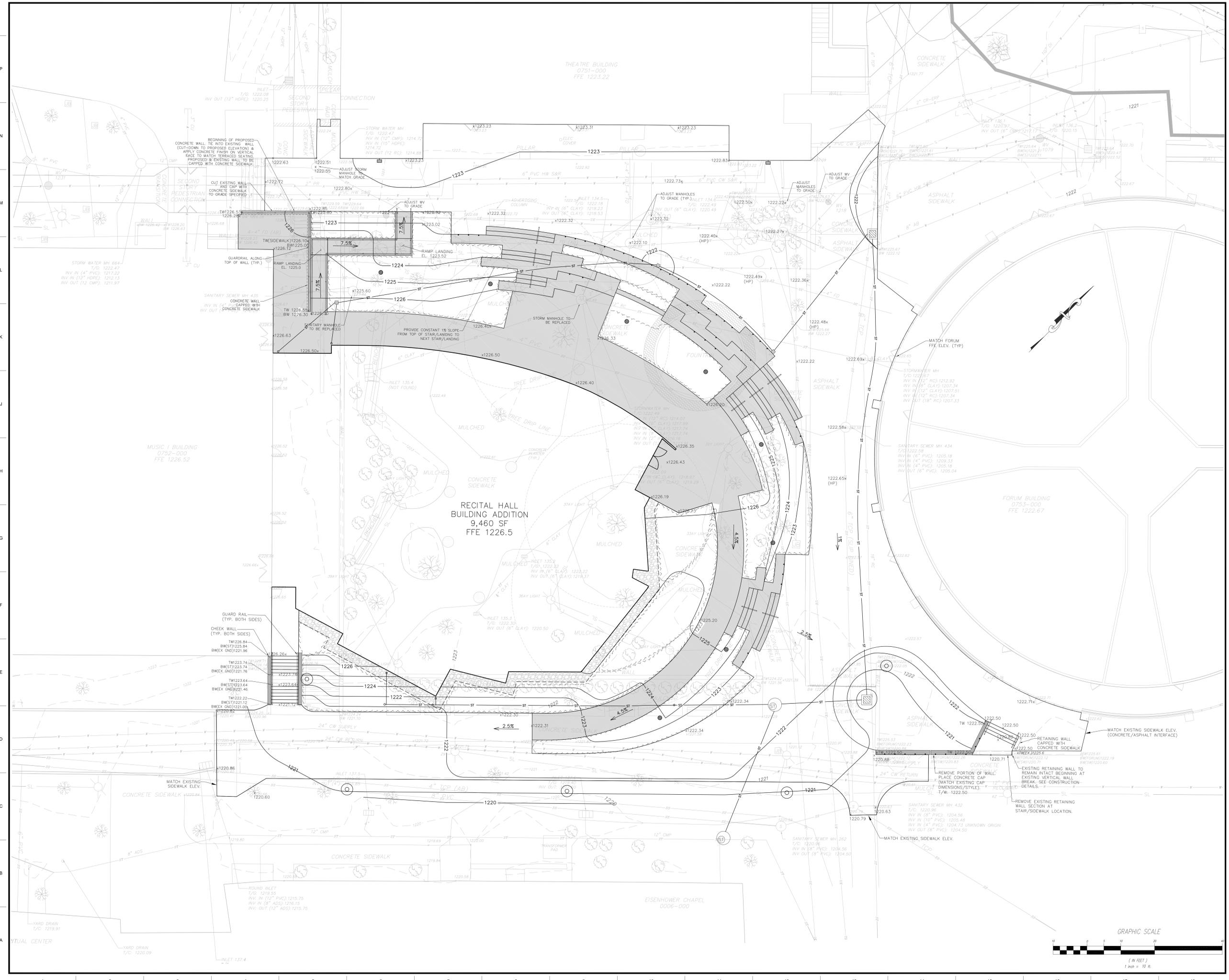
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**GRADING PLAN**

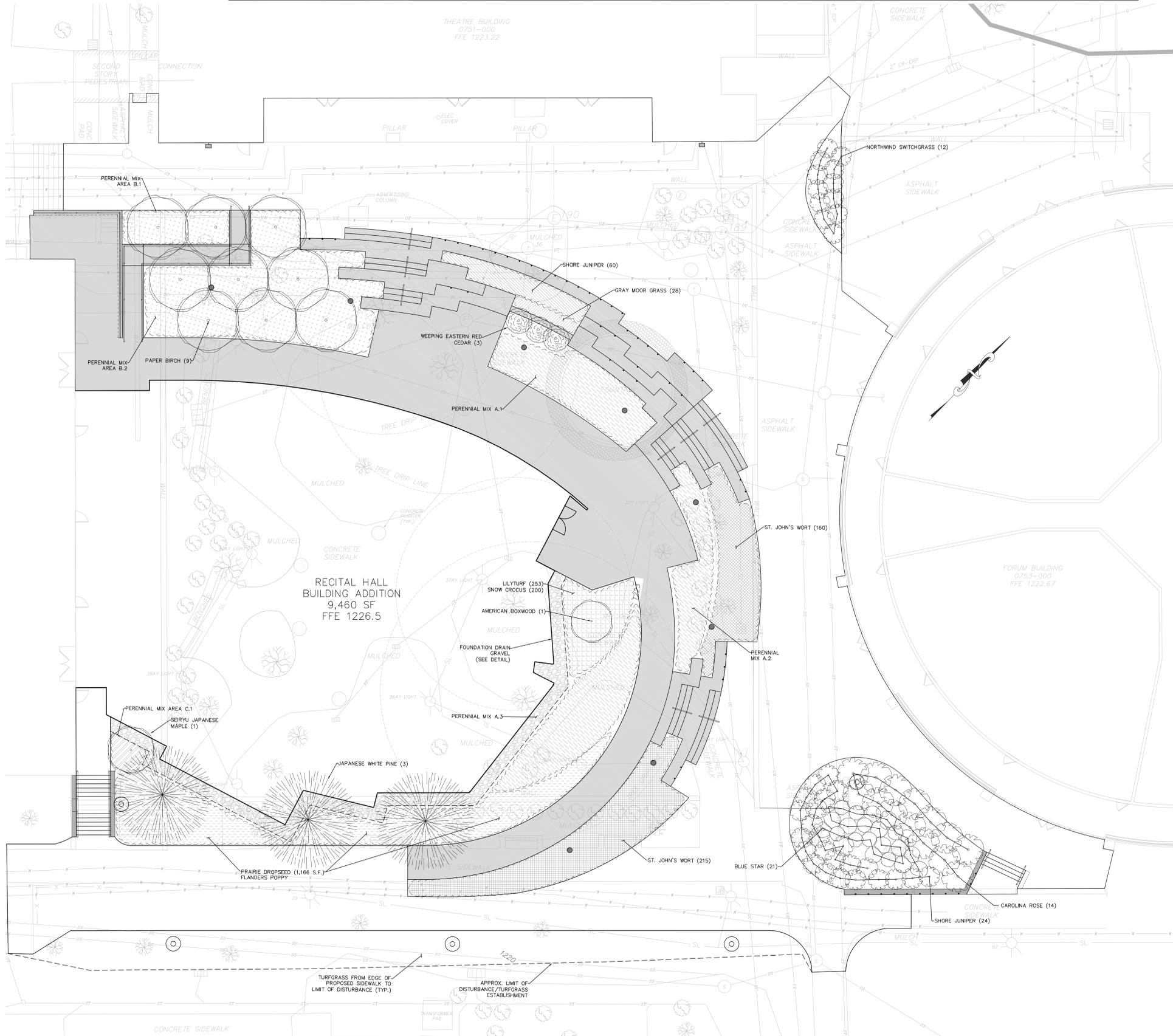
SHEET NO. **C104**



4/21/2016 9:33:49 AM

MASTER LANDSCAPING LEGEND					
TREES					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	1	2" CAL.	-	SPECIMEN
BETULA Papyrifera	PAPER BIRCH	9	2" CAL.	-	MATCHING
JUNIPERUS VIRGINIANA 'PENDULA'	WEeping EASTERN RED CEDAR	3	36"	-	SPECIMEN
PINUS PARVIFLORA (GLAUCA GROUP)	JAPANESE WHITE PINE	3	8"	-	SPECIMEN
SHRUBS					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
BUXUS SEMPERVIRENS	AMERICAN BOXWOOD	1	8"	-	SPECIMEN
HYPERICUM CALYCONUM	ST. JOHN'S WORT	375	#1 POT	18" O.C.	
JUNIPERUS CONFERTA 'BLUE MIST'	SHORE JUNIPER	60	#3 POT	18" O.C.	BID ALT. DEDUCT (24)
JUNIPERUS VIRGINIANA 'GREY OWL'	PROSTRATE EASTERN RED CEDAR	24	#3 POT	3' O.C.	
ROSA CAROLINA	CAROLINA ROSE	14	#3 POT	5' O.C.	BID ALT. DEDUCT (15)
PERENNIALS/GRASSES/GROUNDCOVERS					
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	NOTES
ALLIUM	SUMMER BEAUTY	78	QUART	15" O.C.	
AMSONIA HUBRICHITII	BLUE STAR	138	#1 POT	15" O.C.	BID ALT. DEDUCT (21)
CAREX APPALACHICA	APPALACHIAN SEDGE	297	QUART	15" O.C.	
CROCUS TOMMASIANUS	SNOW CROCUS	200	BULB	10 CLUSTERS OF 5 ON 3" CENTERS	
CROCUS VERNUS	SPRING CROCUS	50	BULB	10 CLUSTERS OF 5 ON 3" CENTERS	
EURYBIA DIVARICATA	WHITE WOOD ASTER	74	QUART	15" O.C.	
HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	37	QUART	15" O.C.	
HOSTA 'HALYCON'	HALYCON HOSTA	24	QUART	15" O.C.	
LIRIOPE MUSCARI 'BIG BLUE'	LILYTURF	253	QUART	12" O.C.	
PACKERA AUREA	GOLDEN RAGWORT	74	QUART	15" O.C.	
PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	12	#1 POT	15" O.C.	BID ALT. ADD (16)
PAPAYER RHOEAS	FLANDERS POPPY	N/A	N/A	SEEDING RATE: 1-2 PLS LBS/AC	
GERANIUM MACULATUM 'ESPRESSO'	ESPRESSO WILD GERANIUM	75	QUART	15" O.C.	
GERANIUM 'ROZANNE'	ROZANNE GERANIUM	78	QUART	15" O.C.	
POLYSTICHUM ACROSTICHODES	CHRISTMAS FERN	148	QUART	15" O.C.	
SALVIA 'CARADONNA'	COMMON SAGE	78	QUART	15" O.C.	
SESLERIA NITIDA	GRAY MOOR GRASS	28	#1 POT	12" O.C.	
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	5	QUART	12" O.C.	
STACHYS 'HUMMELO'	BETONY	117	QUART	15" O.C.	
UVULARIA GRANDIFLORA	BELLWORT	74	QUART	15" O.C.	

PERENNIAL MIX TABLE																								
AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	SUB AREA	SUB AREA QTY	AREA	SPECIES	SPACING	% OF AREA	SUB AREA	SUB AREA QTY	
A	SESLERIA AUTUMNALIS	15" CENTERS	40%	A.1	120	A.2	61	A.3	135	B	CAREX APPALACHICA	15" CENTERS	40%	B.1	45	B.2	258	C	HAKONECHLOA MACRA "ALL GOLD"	15" CENTERS	60%	C.1	37	
	AMSONIA "BLUE STAR"		15%		45		22		50		POLYSTICHUM ACROSTICHODES		20%		22		129		HOSTA "HALYCON"		40%		24	
	ALLIUM "SUMMER BEAUTY"		10%		30		15		33		GERANIUM MACULATUM "ESPRESSO"		10%		11		64		SPRING BULB: CROCUS TOMMASIANUS		10 CLUSTERS OF 5 ON 3" CENTERS		50	50
	STACHYS "HUMMELO"		15%		45		22		50		PACKERA AUREA		10%		11		64							
	SALVIA "CARADONNA"		10%		30		15		33		UVULARIA GRANDIFLORA		10%		11		64							
	GERANIUM "ROZANNE"		10%		30		15		33		EURYBIA DIVARICATA		10%		11		64							

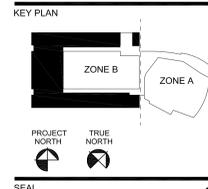


NOTE: ALL PLANTING AREAS SHALL BE AT THE DISCRETION OF THE PSU LANDSCAPE ARCHITECT.  
MASTER LANDSCAPING LEGEND REFLECTS TOTALS OF QUANTITIES. DO NOT INCLUDE PERENNIAL MIX TABLE TOTALS WHEN PLANNING, ORDERING, OR PLANTING.

**SHEET NOTES**

**LEGEND**

**STAHL SHEAFFER ENGINEERING**



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**Bostwick Design Partnership**

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400 5th Avenue, Fort Lauderdale, FL 33301 (954) 562-7558  
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**RECITAL HALL & MUSIC I RENOVATION**

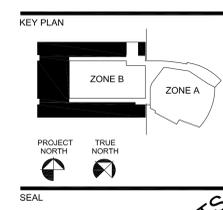
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**LANDSCAPING PLAN**

**SHEET NOTES**

**LEGEND**

**STAHL SHEAFFER  
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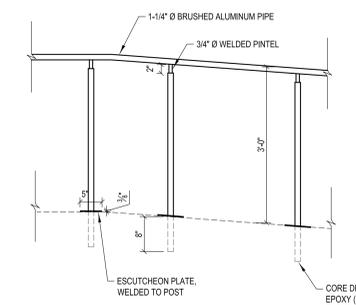
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**CONSTRUCTION  
DETAILS**

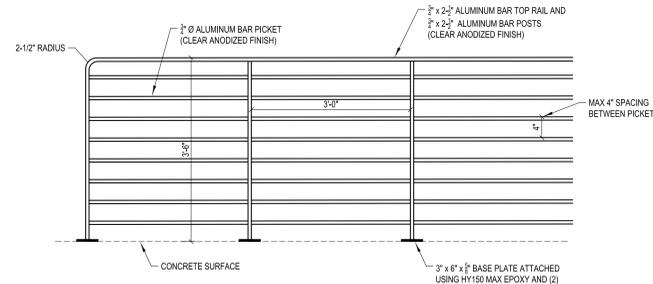
SHEET NO. **C110.1**

- NOTES:**
- CONCRETE MIX SHALL INCLUDE FIBERESH 300 SYNTHETIC FIBER BY PROPEX OPERATING COMPANY (OR EQUIVALENT) WITH A DOSING RATE OF 1.5 POUNDS PER CUBIC YARD OF CONCRETE.
  - ALL RISERS SHALL BE EQUAL DIMENSION, RISER FROM BOTTOM LANDING (GRADE) TO FIRST STEP SHALL BE WITHIN 1" OF REMAINING RISERS.
  - COAT ALL EXPOSED CONCRETE WITH EUCLID EVERCLEAR TB PENETRATING SEALANT AFTER CONCRETE IS CURED.
  - STAIR TREADS TO BE TROWELED SMOOTH AND NOSINGS ROUNDED OVER (MAXIMUM 8" RADIUS). MIX EUCLID EUCODRIP POLYMER GRIP ADDITIVE INTO SEALER DURING APPLICATION TO STAIR TREADS TO CREATE ANTI-SLIP COATING.
  - ALL OTHER EXPOSED EDGES SHALL HAVE 1/2" ROUND-OVER OR 1/2" CHAMFERED PROFILE.
  - PINTEL-STYLE HANDRAIL SHALL BE INSTALLED FOR ANY INNER HANDRAIL POST AS SHOWN IN THE DETAIL.

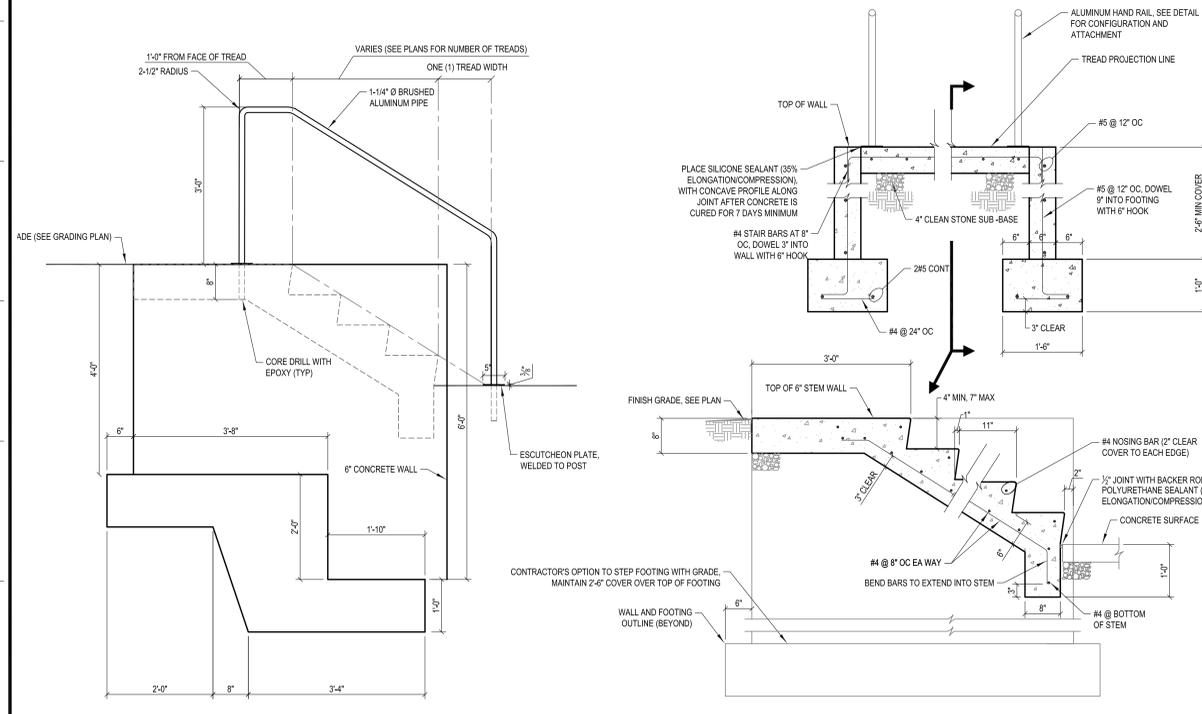
- ALUMINUM NOTES:**
- THE WORK UNDER THIS SECTION INCLUDES THE FABRICATION AND ERECTION OF STRUCTURAL ALUMINUM, UNLESS OTHERWISE SPECIFIED. ALL MATERIALS, WORKMANSHIP AND PRACTICES SHALL CONFORM TO THE STANDARDS OF THE ALUMINUM CONSTRUCTION MANUAL, LATEST EDITION, BY THE ALUMINUM ASSOCIATION.
  - MATERIALS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
    - STRUCTURAL SHAPES (I-BEAMS, H-BEAMS, CHANNELS, ANGLES, TEES AND ZEES) AND BARS: SHALL CONFORM TO ASTM B308/B308M-95a AND SHALL BE ALUMINUM ASSOCIATION (AA) DESIGNATION 6061-T6 ALLOY OR AS OTHERWISE SPECIFIED.
    - PIPE: RODS, BARS, STRUCTURAL TUBES, ETC., NOT COVERED UNDER ASTM B308 SHALL CONFORM TO ASTM B221-95a. PIPE SHALL BE AA DESIGNATION 6061-T6 ALLOY, SCHEDULE 40 MINIMUM, UNLESS OTHERWISE SPECIFICALLY INDICATED HEREIN OR SHOWN ON THE PLANS.
    - EXTRUDED ALUMINUM: ASTM B 308, ALLOY 6063-T42.
    - DO NOT FLAME CUT ALUMINUM ALLOYS.
    - ALL CONNECTIONS SHALL BE SHOP WELDED PRIOR TO ANNOZING.
    - WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.2, "STRUCTURAL WELDING CODE-ALUMINUM" USING GAS METAL ARC (MIG) OR GAS TUNGSTEN ARC (TIG) PROCESS (DO NOT USE WELDING FLUX).
    - FILLER METAL: ALUMINUM ALLOYS CONFORMING TO THE REQUIREMENTS OF AWS A5.10, ER 5356.
    - PERFORM WELDING OF STRUCTURES WHICH ARE TO BE ANNOZED USING FILLER ALLOYS WHICH WILL NOT DISCOLOR WHEN ANNOZED, AWS ER 5654, ER 5554, ER 5183, ER 5356, ER 5556.
    - WHERE WELD MATERIAL INTERFERES WITH FIT, IS UNSIGHTLY IN APPEARANCE, OR IS USED AS A GRIPPING SURFACE, GRIND IT SMOOTH.
    - MAKE WELDS FULL PENETRATION WELDS UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL WELDS SHALL BE FULL LENGTH OF INDICATED EDGE UNLESS NOTED OTHERWISE.
  - FINISHES AND PROTECTION
    - ALUMINUM SHALL BE BRUSHED ALUMINUM.
    - NO PAINTING OF ALUMINUM IS REQUIRED.
    - SURFACES IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A HEAVY COATING OF BITUMASTIC 300M, AS MANUFACTURED BY KOP-KOAT, INC. OR APPROVED EQUAL. APPLY PER MANUFACTURER'S SPECIFICATIONS. ALTERNATELY, A NEOPRENE BEARING PAD MAY BE PROVIDED BETWEEN THE SURFACES IN LIEU OF A PROTECTIVE COATING.



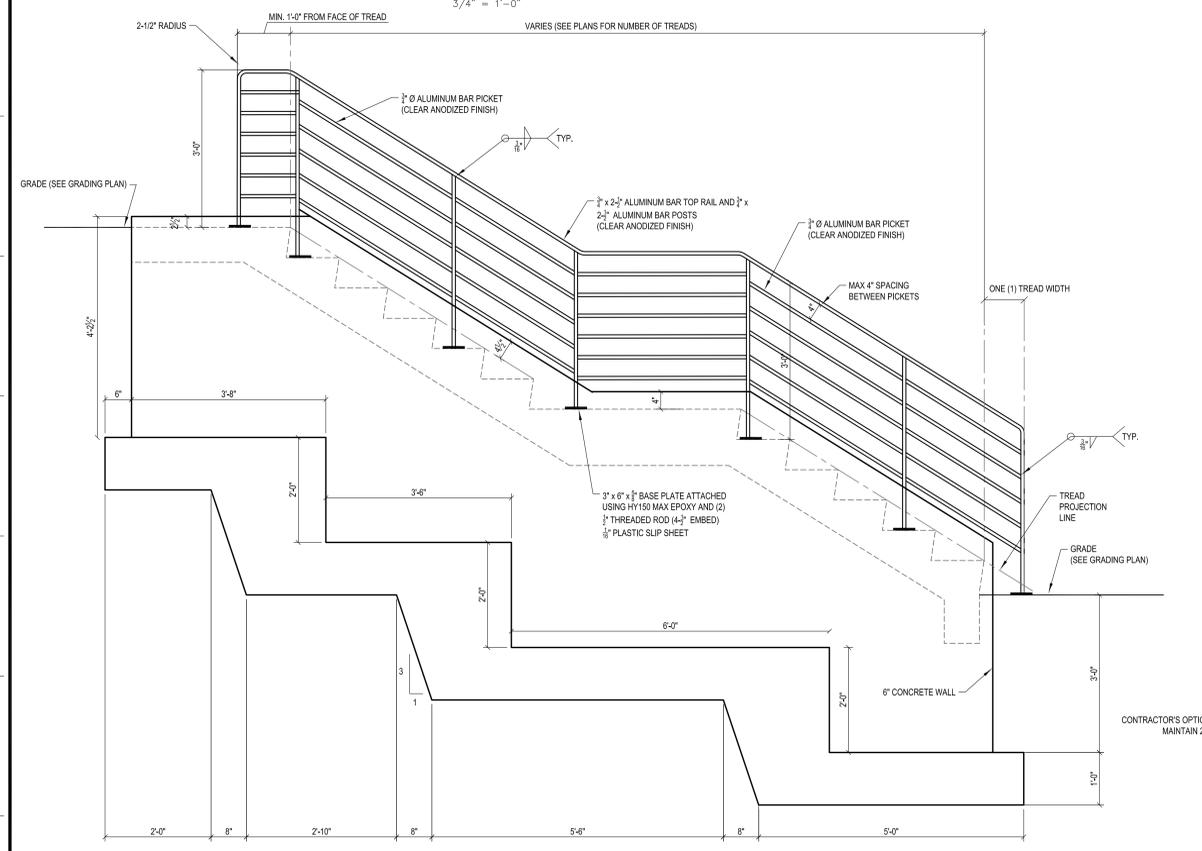
**EXTERIOR HAND RAIL (RAMP)**  
3/4" = 1'-0"



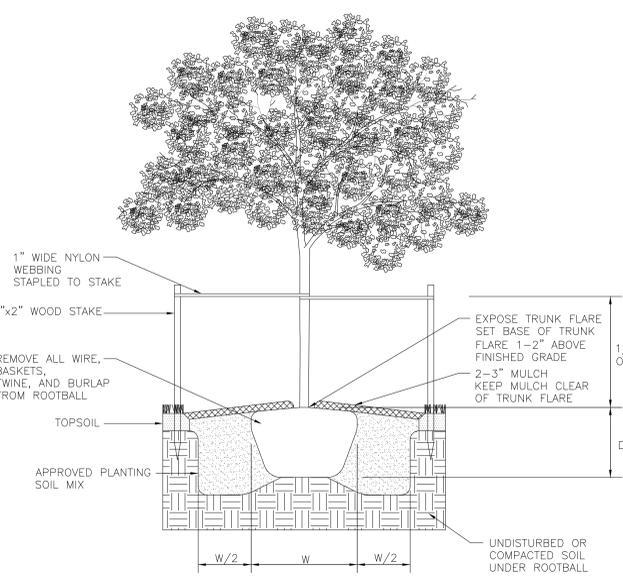
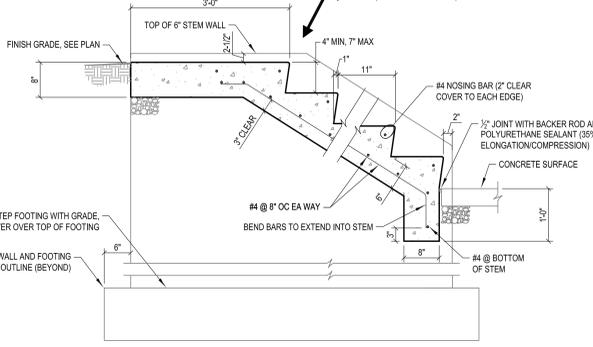
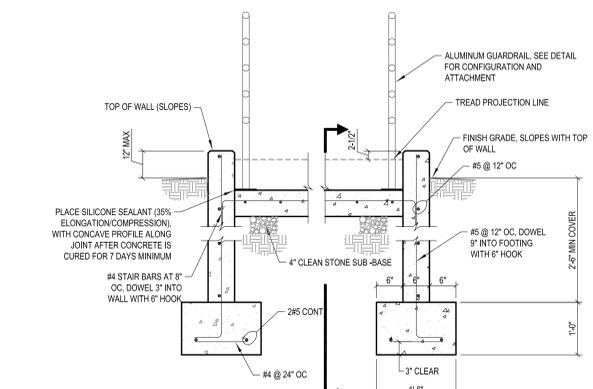
**EXTERIOR GUARDRAIL (FLAT SURFACE)**  
3/4" = 1'-0"



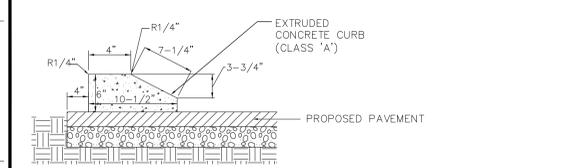
**EXTERIOR HAND RAIL WITH STEM WALL**  
3/4" = 1'-0"



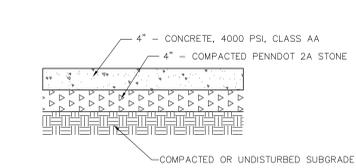
**EXTERIOR STAIR & GUARDRAIL**  
3/4" = 1'-0"



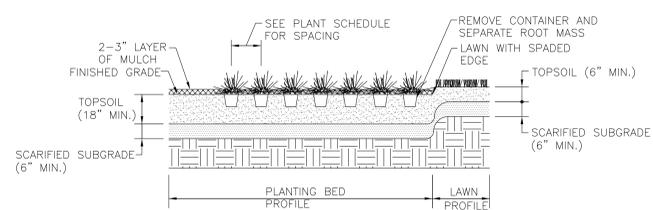
**TREE PLANTING AND GUYING**  
N.T.S.



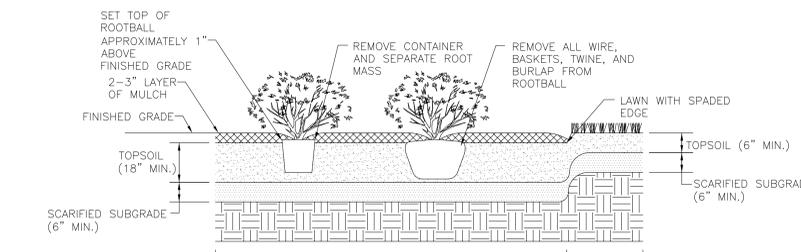
**PLAIN CEMENT CONCRETE CURB**  
N.T.S.



**CONCRETE SIDEWALK**  
N.T.S.



**UNIFORM PLANTING DETAIL FOR CONTAINER GROWN PERENNIALS**  
N.T.S.



**PLANTING FOR BALLED & BURLAPPED OR CONTAINER GROWN SHRUBS**  
N.T.S.

- NOTES:**
- THOROUGHLY CLEAN PAVEMENT AND APPLY ASPHALT ADHESIVE TACK COAT PRIOR TO PLACING CONCRETE CURB.
  - CONTRACTION JOINTS SHALL BE PLACED EVERY 10' MAXIMUM, 4' MINIMUM.
  - EXPANSION JOINT MATERIAL (3/4" PREMOLDED) SHALL BE CUT TO CONFORM TO THE CROSS-SECTIONAL AREA AND PLACED AT STRUCTURES AND AT THE END OF THE DAY'S WORK.

- NOTES:**
- PROVIDE TRANSVERSE ASPHALT TYPE EXPANSION JOINTS PER SCORING PATTERN SHOWN ON PLAN, MAX. 20' SPACING.
  - ALL JOINTS SHALL BE TOOLED (NO SAW CUT JOINTS)

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**HISTORIC RESOURCES OF THE CENTRE REGION**

**A REMEMBRANCE OF THINGS PAST**

**PREPARED BY  
THE CENTRE REGIONAL PLANNING COMMISSION**

**Dennis I. Elpern, Editor**

**Clifford R. Warner, Jr., Illustrator**

**Michael J. Halm, Consultant  
Douglas R. McMinn, Consultant**

**1982**

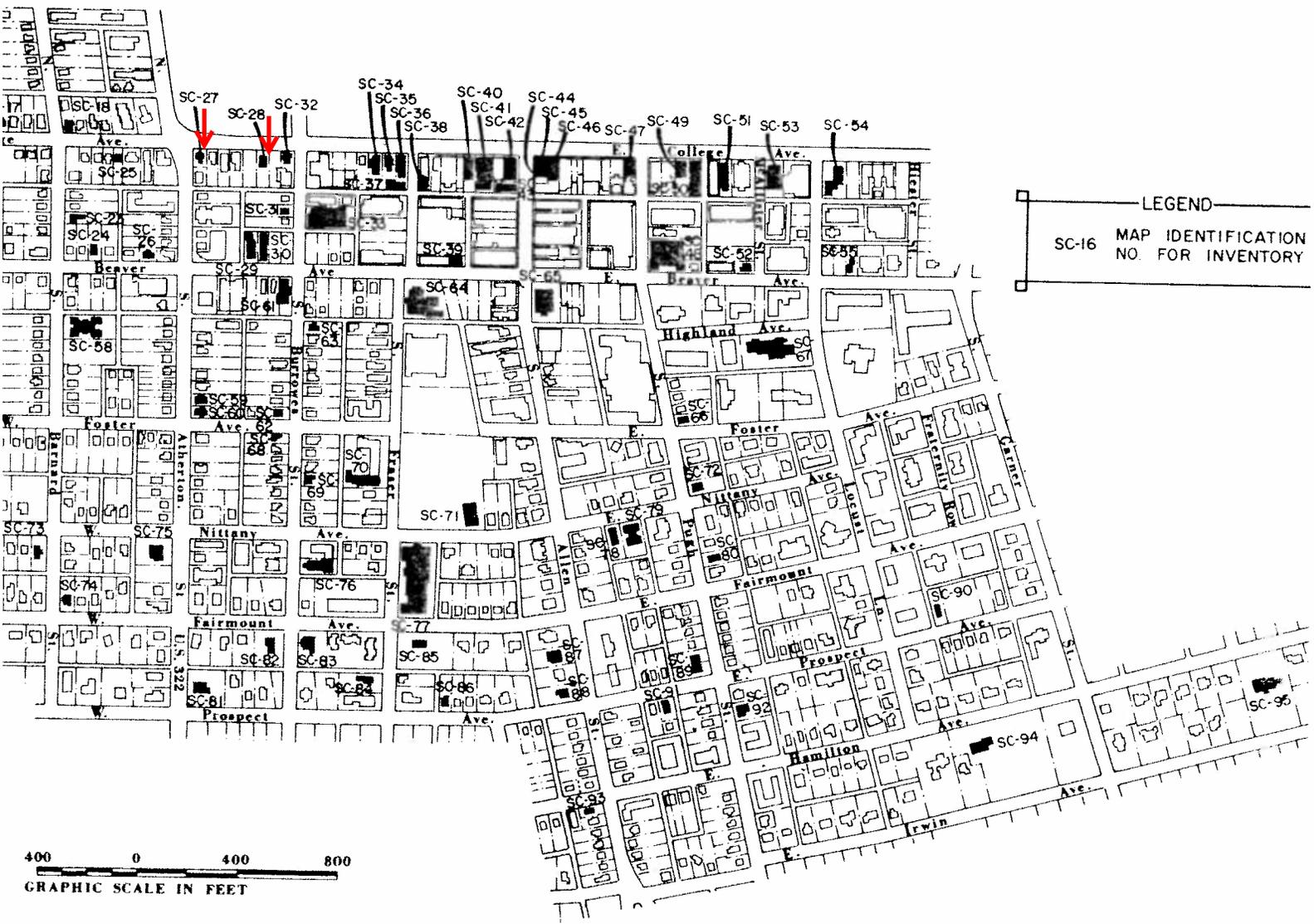
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INVENTORY OF BUILDINGS, STRUCTURES, AND SITES

FORM/STRUCTURE/ CURRENT STYLE	FACADE MATERIAL	CURRENT USE	ADDRESS
Com Bk Com	122 W. College Ave.		
Co R Bk/Al Com	100 W. College Ave.		
l-C Bk/S Com	112-14 S. Allen St.		
Com Bk Com	107-7A S. Allen St.		
V Clap Com	140 E. College Ave.		
D Bk Com	201-209 E. Beaver		
V Clap Res	142 McAllister St.		
Co r S Ch	300 E. College Ave.		
Co r S Ch	500 W. Nittany Ave.		
Co r S Ch	409 S. Burrowes St.		
Co r St Res	520 S. Fraser St.		
NCE			
Co r S Res	401 E. Park Ave.		
Co r St Com	803 N. Atherton St.		
Co r Bk S	721 N. Atherton St.		
Co r S/Bk Res	622 McKee St.		
Co r S/Sh Res	215 Hartswick Ave.		
Co r S Res	223 Hartswick Ave.		
Co r S Res	333 W. Park Ave.		
Co r Bk/St Res	154 Ridge Ave.		
Co r Bk/Sh Res	511 N. Burrowes St.		
Co r Bk Res	516 N. Allen St.		
Co r S/St Res	117 E. Park Ave.		
Co r Clap Res	214 Hartswick Ave.		
Co r Bk/S1 Res	817 W. College Ave.		
Co r Bk Apt.	639 W. College Ave.		
Co r Bk Apt	607 W. College Ave.		
Co r Bk/Sh Apt	117-21 N. Gill St.		
Co r Bk Apt	519 W. College Ave.		
Co r Bk Com	437-39 W. College		
Co r Bk/Sh Res	800 W. College Ave.		
Co r Bk Com	616 W. College Ave.		
Co r Bk/Sh Res	127 S. Gill St.		
Co r Bk/Sh Apt	131-33 S. Gill St.		
Co r Bk/Sh Apt	127 S. Barnard St.		
Co r Bk Res	433 W. Beaver Ave.		
Co r Bk/Clap Res	424 W. College Ave.		
Co r Bk/Sh Apt	409-13 W. Beaver		

MAP NO.	AGE	BAYS	STORIES	STRUCTURE/ FORM	CURRENT STYLE	FACADE MATERIAL	CURRENT USE	ADDRESS
SC-27	c 1910	5	2½	F	QA	Bk Apt	338 W. College Ave.	
SC-28	c 1910	3	2½	F	Co r Bk	Com	312 W. College Ave.	
SC-29	c 1910	3	3	F	Co r Bk	Apt	315 W. Beaver Ave.	
SC-30	c 1925	3	2	F	M r	St/Bk Com	307-11 W. Beaver	
SC-31	c 1910	3	2½	F	vV	Bk Res	120 S. Burrowes St.	
SC-32	c 1890	3	2½	F	vV	Clap Res	300 W. College Ave.	
SC-33	c 1920	3	2	F	V	Bk Com	121 S. Burrowes St.	
SC-34	c 1900-30	6	2½	F	vV	Bk/Clap Com	210-14 W. College	
SC-35	c 1890	5	2½	F	vV	Clap Com	206 W. College Ave.	
SC-36	c 1918	5	4	SS	N-C	Bk Com	200 W. College Ave.	
SC-37	c 1920	3	1½	F	v	Bk Com	112 S. Fraser St.	
SC-38	c 1920	6	3	F	V	Bk Com	111-115 S. Fraser	
SC-39	c 1928	7	3	SS	Com	Bk Com	123-27 W. Beaver	
SC-41	1925	7	3	SS	Co r	Bk/Conc Com	112-118 W. College	
SC-45	1925	9	2	SS	Go r	Bk/St Com	100-106 E. College	
SC-46	c 1925	3	3	SS	Co r	Bk Com	108-10 E. College	
SC-49	c 1928	5	3	F	M r	St Com	212-14 E. College	
SC-50	c 1885	3	2½	F/I	vV	Clap Com	216-20 E. College	
SC-51	c 1920	3	2	F	V	Bk Com	228-32 E. College	
SC-53	1910	5	2	F	Go r	S Ch	252 E. College Ave.	
SC-55	c 1920	2	2½	F	QA	Bk/Sh Res	311 E. Beaver Ave.	
SC-56	c 1925	3	1	F	B	Cob Res	812 W. Beaver Ave.	
SC-57	c 1918	3	2½	F	vV	Clap Res	538 W. Beaver Ave.	
SC-58	c 1930	7	4	F	2E	S/Bk Apt	221 S. Barnard St.	
SC-59	c 1910	2	2½	F	QA	Bk/Clap Res	251 S. Atherton St.	
SC-60	c 1910	2	2½	F	QA	Bk Com	255 S. Atherton St.	
SC-61	1929-32	8	2	F	Go r	Bk/S Ch	206 S. Burrowes st.	
SC-62	c 1920	8	2½	F	vV	Bk/Sh Apt	254-56 S. Burrowes	
SC-63	c 1910	2	1½	F	DC r	Sh Res	219 S. Burrowes St.	
SC-64	1912	7	2	F	Go r	S/Conc Ch	132 W. Beaver Ave.	
SC-65	c 1924	5	2	SS	Co r	Bk Lib	100 E. Beaver Ave.	
SC-66	c 1910	3	2½	F	QA	Clap P	257 S. Pugh St.	
SC-67	c 1920	3	2½	F	Co r	Bk P	224 Locust Ave.	
SC-68	c 1910	3	2½	F	vV	Clap Res	300 S. Burrowes St.	
SC-69	c 1930	2	2½	F	B	Bk/Sh Res	313 S. Burrowes St.	
SC-70	1927-71	10	2	SS	Go r	S/Conc Ch	316 S. Fraser St.	
SC-71	1924	1	2	SS	Co r	Bk S	131 W. Nittany Ave.	
SC-72	c 1910	3	2½	F	Co r	Bk Res	319 S. Pugh St.	
SC-74	c 1920	4	1	F	B	Clap Res	441 W. Fairmount	
SC-75	c 1930	4	1½	F	B	S Res	400 S. Atherton St.	





312 West College Avenue





NORTH ELEVATION  
1/16" = 1' - 0"



WEST ELEVATION  
1/16" = 1' - 0"

LOW-E INSULATED GLAZING  
SYSTEM W/ INFILL PANELS



519 South Fraser Street (Source: Google maps)

RER #325  
8-13-40

STATE COLLEGE BOROUGH  
CENTRE COUNTY, PENNA.

### Ordinance No. 91

# Application for Zoning Permit

For new buildings, garages, additions, alterations, repairs, removal or tearing down of any building or part of same.

## IMPORTANT

INSTRUCTIONS: Before any permit is issued to erect or alter any building or structure of any kind in the Borough of State College, the following information must be given and rules complied with.

- Plans are to be submitted drawn to scale showing—plot plan and street elevation for inside lot; plot plan and two street elevations for corner lot—and to show the actual dimensions of the lot to be built upon, the size of the building or structure to be erected or altered, the relative position on the lot of such building or structure and existing structures, and the height of the building from the curb level or adjacent grounds.
- Grade and line are to be established by the Borough Engineer before any building progresses.  
If it be desired to erect temporary frame shop give size 10x14 (Must be removed within 30 days after completion of work, and must not be placed outside of property lines without special permission.)
- No signs of any kind may be erected under this application.

State College, Pa., Aug 12 1940

The undersigned, owner or builder, hereby makes application for a Zoning Permit, under the provisions of Borough Ordinances on the subject.

State name and address of:

- Owner Mr. & Mrs. George B. Romer
- Builder Albert W. Bauger
- Architect ?

Location of lot: S. Frazier Street 521

Is lot within fire limits: Yes State Zone D-3

Dimensions of lot 50x100

Give distance of building from property lines: (As viewed from front walk)

1. Right side yard <u>8'-0"</u>	3. Rear yard <u>95'-0"</u>
2. Left side yard <u>8'-0"</u>	4. Front set-back <u>30'-0"</u>

Proposed building will be:  
(New erection ✓; Alteration to existing building    ; Addition to or enlarging of existing building    ; Removal of existing building    .)

- Dwelling: One family ✓ Duplex House     Fraternity      
Two family     Multiple Dwelling     Apartment
- Or     Height
- Garage: State kind Attached No. of cars One State if to  
be built within house walls Attached Height 2 story
- Materials: Foundation Block Side walks Brick  
Roof Composition
- Approximate Cost 5800<sup>00</sup>

# Borough of State College

## MEMORANDUM

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**to:** All Borough Employees

**from:** Ed LeClear, Director of Planning and Community Development

**re:** Conflict of Interest Policy and Code of Conduct With Regard to HUD Programs

**date:** November 1, 2016

A Conflict of Interest Policy and Code of Conduct with Regard to HUD Programs was adopted by the State College Borough Council in 2005. This policy will be distributed annually to Borough employees. Please review the policy. If you have questions or comments, please contact me.

### **BOROUGH OF STATE COLLEGE**

Conflict of Interest Policy and Code of Conduct  
With Regard to HUD Programs

#### SECTION 1

#### CONFLICTS OF INTEREST

#### COVERED INDIVIDUALS:

Any employee, agent, officer, elected official, appointed official or consultant of the Borough of State College (Participating Jurisdiction) or; any member of an employee's, agent's, officer's, elected official's or appointed official's immediate family; an employee's, agent's, officer's, elected official's or appointed official's partner; or an organization that employs or is about to employ any of the above.

#### CONFLICTS PROHIBITED:

No person(s) described in Paragraph 1 of section 1 who exercises or has exercised any functions or responsibilities with respect to activities assisted with HOME Investment Partnerships Program (HOME) or Community Development Block Grant (CDBG) or other U.S. Department of Housing and Urban Development (HUD) funds or who is in a position to participate in a decision-making process or gain inside information with regard to these activities may obtain a financial interest or benefit from a HOME,- CDBG, or other HUD-assisted activity, or has an interest in any contract, subcontract, or agreement with respect thereto, or the proceeds there under, either for themselves or those with whom they have family or business ties, during their tenure or for one year thereafter. Occupancy of a HOME-assisted unit by a covered person constitutes a financial interest.

## EXCEPTIONS:

Threshold Requirements – Upon the written request of the participating jurisdiction, the U.S. Housing and Urban Development (HUD) or its successor, may grant an exception to the provisions of Paragraph 1 of this section on a case-by-case basis when it determines that the exception will serve to further the purpose of the HOME, CDBG or other HUD program and the effective and efficient administration of the Borough's program or project. An exception may be considered only after the participating jurisdiction has provided the following:

- a. A disclosure of the nature of the conflict, accompanied by an assurance that there has been public disclosure\* of the conflict and a description of how the public disclosure was made; and
- b. An opinion from the Borough's attorney that the interest for which the exception is sought would not violate state or local laws.

\*The requirements for public disclosure include publication in a local newspaper or disclosure during an advertised public hearing.

Factors to be considered for Exceptions – In determining whether to grant a requested exception after the participating jurisdiction has satisfactorily met the requirements of paragraphs a. and b. above, HUD, or its successors, will consider the cumulative effect of the following factors, where applicable:

- a. Whether the exception would provide a significant cost benefit or an essential degree of expertise to the program or project which would otherwise not be available;
- b. Whether the person affected is a member of a group or class of low-income persons intended to be the beneficiary of the assisted activity, and the exception will permit such person(s) to receive generally the same interests or benefits as are being made available or provided to the group or class;
- c. Whether the affected person(s) has withdrawn from his/her functions or responsibilities or the decision-making process with respect to the specific assisted activity in question;
- d. Whether the interest or benefit was present before the affected person was in a position as described in Paragraph 2 of this section;
- e. Whether undue hardship will result either to the participating jurisdiction or the person affected when weighed against the public interest served by avoiding the prohibited conflict; and
- F. Any other relevant considerations.

## OWNERS AND DEVELOPERS:

No owner, developer or sponsor of a project assisted with HOME, CDBG or other HUD funds (or officer, employee, agent, elected or appointed official or consultant of the owner, developer or sponsor) whether private, for-profit or non-profit (including a community development organization (CHDO) when acting as an owner, developer or sponsor) may occupy a HOME, CDBG or other HUD-assisted affordable housing unit in a project. This provision does not apply to an individual who receives HOME, CDBG or other HUD funds to acquire or rehabilitate his or her principal residence or to an employee or agent to the owner or developer of a rental housing project who occupies a housing unit as the project manager or maintenance worker.

## EXCEPTIONS:

Upon written request of a housing owner or developer, the Borough may grant an exception to the provisions of the above paragraph of this section on a case by case basis when it determines that the exception will serve to further the purposes of the HOME, CDBG or other HUD program and the effective and efficient administration of the owner's or developer's HOME, CDBG or other HUD-assisted project. In determining whether to grant a requested exception, the Borough shall consider the following factors:

- a. Whether the person receiving the benefit is a member of a group or class of low-income persons intended to be the beneficiaries of the assisted housing, and the exception will permit such person to receive generally the same interest or benefits as are being made available or provided to the group or class:
- b. Whether the person has withdrawn from his or her functions or responsibilities, or the decision making process with respect to the specific assisted housing in question:
- c. Whether the tenant protection requirements of Sec. 92.253 are being observed;
- d. Whether the affirmative marketing requirements of Sec. 92.351 are being observed and followed; and
- e. Any other factor relevant to the Borough's determination, including the timing of the requested exception.

## SECTION 2

### COVERED INDIVIDUALS:

Any employee, officer, or agent of the Borough of State College (Participating Jurisdiction).

### PROCUREMENT

The CDBG, HOME and other HUD Programs follow the procurement policy of the Borough of State College located in the Borough of State College Code of Ordinances, Chapter 1, Part N. If any provisions of CFR 24 85.36, 24 CFR 570.611, 24 CFR 92.356 are not included or conflict with the Borough's Procurement Policy, the provisions of CFR 24 85.36, 24 CFR 570.611, and 24 CFR 92.356 shall supersede the Borough's Procurement Policy.

No Covered Individuals in section 2, paragraph 1, may participate in the selection, award or administration of a contract supported by HOME, CDBG or other HUD Program if a conflict of interest, real or apparent, would be involved. Such a conflict would arise when any of the following parties has a financial or other interest in the firm selected for award:

- employee, agents, or officer of the Borough of State College;
- any member of an employee's, agent's or officer's immediate family;
- an employee's, agent's or officer's partner; or
- an organization that employs or is about to employ any of the above

No employee, officer, or agent of the Borough or subrecipient may solicit or accept gratuities, favors or anything of monetary value from contractors, potential contractors or parties to subagreements.

#### CODE OF CONDUCT:

Persons covered in section 2, paragraph 1, are expressly forbidden from soliciting or accepting money, gifts, gratuities, services, favors, or anything of monetary value (excepting unsolicited calendars, pens, or other items of nominal value used as an advertising medium) from any person, company, firm, or corporation to which any purchase order or contract is or might be awarded or from a party to any potential subcontract.

The Borough shall also take disciplinary action in accordance with the Borough Personnel Rules and Regulations against any covered persons in section 2 paragraph 1 who violate this conflict of interest policy.

Employees will receive a copy of the conflict of interest policy on an annual basis as a mailer included in a paycheck. Elected and appointed officials will receive a copy of the policy at a regular meeting of their respective council, authority, board or commission. Distribution of the policy will be noted in the minutes of the meeting. Members who are absent will receive a copy by mail. Consultants and agents will be provided a copy of the policy as part of their contracts.

#### SUB-RECIPIENTS:

Applicable Conflict of Interest and Procurement Policies for the Borough's subrecipients are covered under CFR 24 84.42, 24 CFR 570.611 and CFR 24 92.356. Each subrecipient has developed its own Conflict of Interest Policy and Procurement Policy in accordance with the applicable regulations.

Authorized Official: Ed LeClear, Director of Planning and Community Development  
243 S. Allen Street  
State College, PA 16801  
814-234-7109

Adopted by the State College Borough Council on April 18, 2005.